

TAYLOR POINTE SUBDIVISION,

UNIT ONE

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

MAWSS Comments: No comments received.

The plat illustrates the proposed 47-lot, 19.4± acre subdivision, which is located at 9650 Jeff Hamilton Road (on the North side of Jeff Hamilton Road, ¼ mile± North of Repoll Road). The site is served by public water and sanitary sewer.

The site fronts Jeff Hamilton Road, which has an 80-foot right-of-way. The purpose of the application is to create 47-lots of record from several metes and bounds parcels with a Future Development area.

This site originally was submitted as a 98 lot, 39.7± acre subdivision and approved by the Commission at the May 4th 2006 meeting and extended by the Commission for one-year at the May 3rd 2007 meeting.

The applicant has constructed roads to allow a phased Unit One (47 lots); however, the subdivision was not signed due to a condition placed by the Commission requiring the provision of two traffic circles on each of the main streets, with size, location, and design to be determined by County Engineering. The applicant has submitted the preliminary plat illustrating only one traffic circle on the main street.

The site involves the creation of new streets which must be constructed and dedicated to County Engineering standards, including stubs to the North, and West. Most of these streets are short cul-de-sacs. The one main road is over 1200 feet long and very straight, and would therefore require calming devices; the only kind of calming device that the County will accept is a traffic circle. Based on the length of the street, curves in the first section, it is recommended that the main street feature one traffic circle as now proposed. Suitable location for this circle may be on Taylor Pointe Boulevard midpoint between Taylor Pointe Court and Triton Court; however, size, location, and design will ultimately be subject to County Engineering approval.

In addition, as a means of access management, a note should be placed on the final plat stating that Lot 47 is denied direct access to Jeff Hamilton Road, and since lots 12, 13, 16, 23, 24, 31, 33, and 41 are corner lots therefore, a note should be placed on the Final Plat limiting each lot to one curb cut each, with the size, design and location to be approved by County Engineering.

The plat illustrates three common areas, therefore, all common areas should be labeled and a note should be placed on the final plat stating that maintenance of common areas will be property owners' responsibility.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

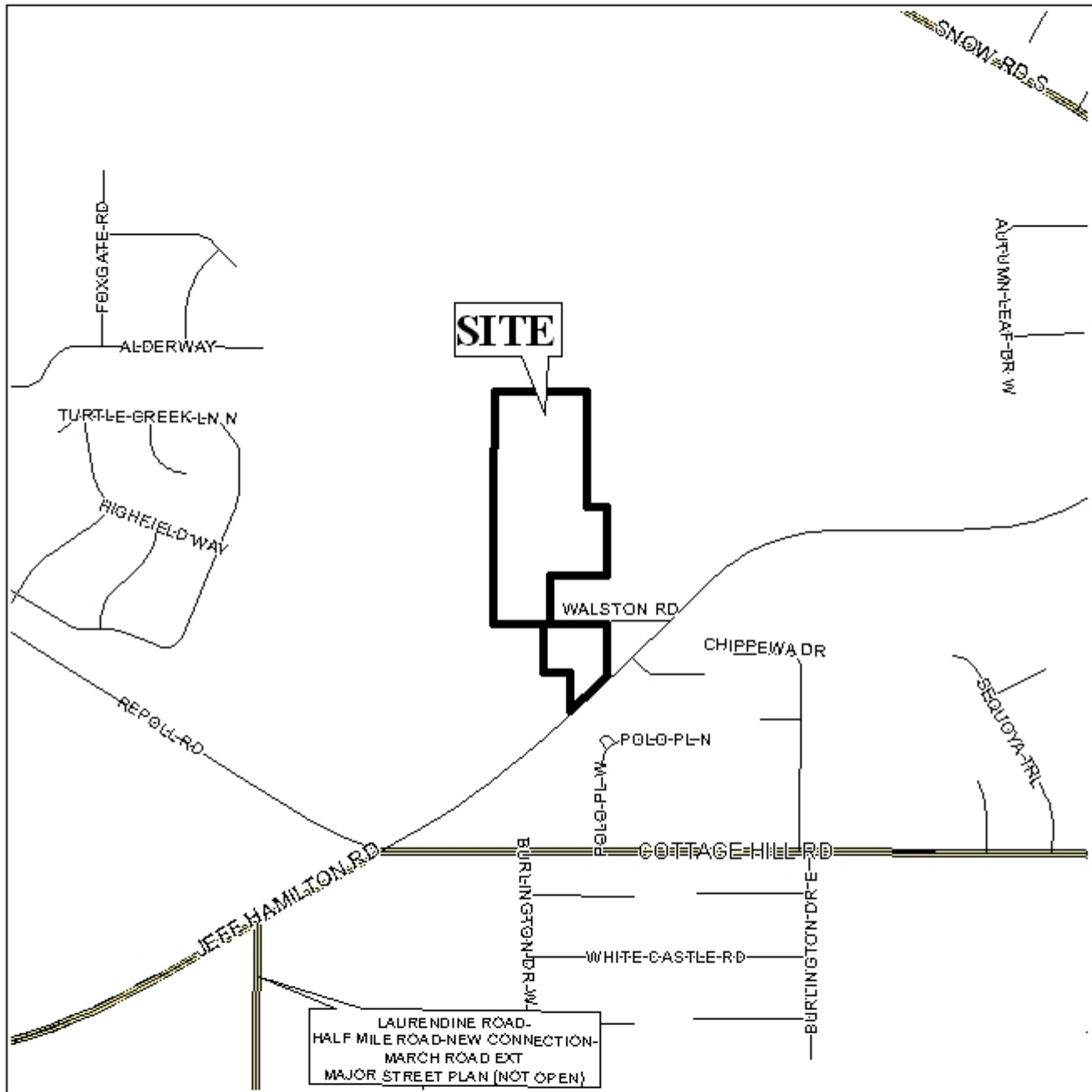
While the site is located in the county, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Urban Development prior to the issuance of permits.

The site may contain federally listed endangered or threatened species, such as the gopher tortoise, or protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the provision of one traffic circle on Taylor Pointe Boulevard midpoint between Taylor Pointe Court and Triton Court, size, location, and design be approved by County Engineering;
- 2) the placement of a note on the Final Plat stating that Lot 47 is denied direct access to Jeff Hamilton Road;
- 3) the placement of a note on the Final Plat stating that lots 12, 13, 16, 23, 24, 31, 33, and 41 are corner lots and are limited to one curb cut each, with the size, design and location to be approved by County Engineering;
- 4) the labeling of all common areas and the placement of a note on the final plat stating that maintenance of common areas will be property owners' responsibility;
- 5) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations;
- 6) the placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and
- 7) certification via placement of a note on the plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

LOCATOR MAP



APPLICATION NUMBER 12 DATE December 20, 2007

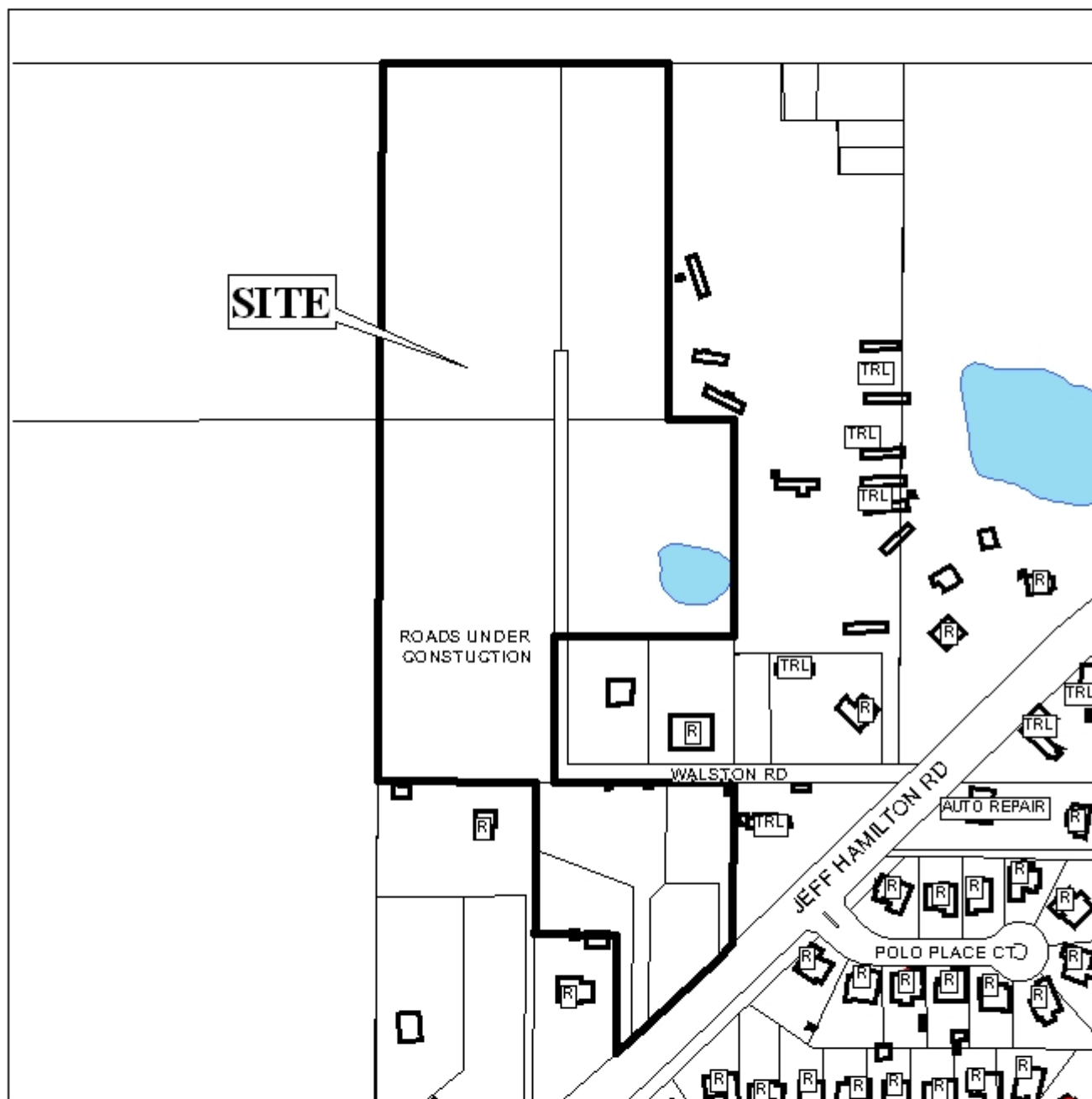
APPLICANT Taylor Pointe Subdivision, Unit One

REQUEST Subdivision



NTS

TAYLOR POINT SUBDIVISION, UNIT ONE



APPLICATION NUMBER 12 DATE December 20, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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TAYLOR POINT SUBDIVISION, UNIT ONE

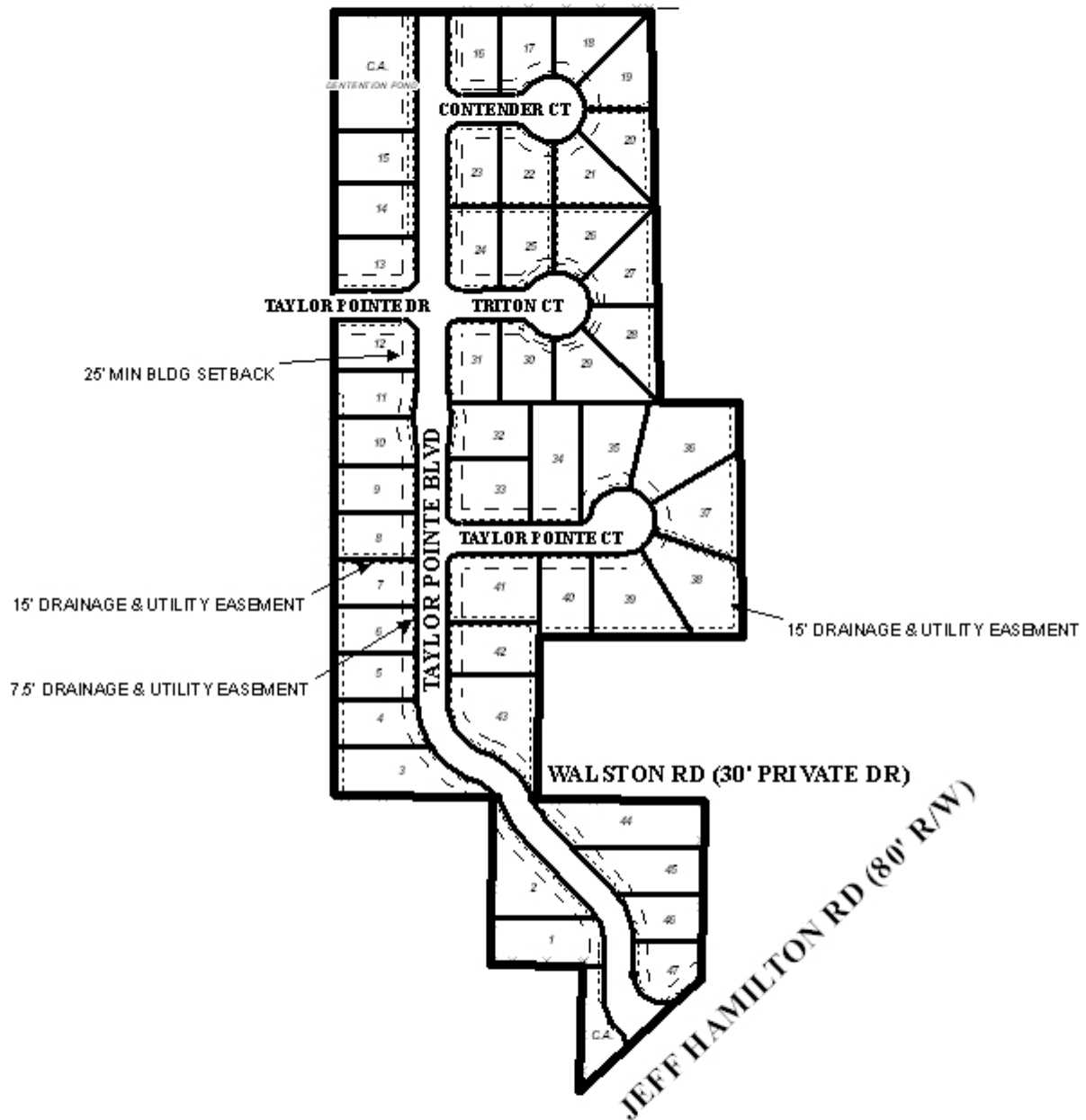


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DETAIL SITE PLAN



APPLICATION NUMBER 12 DATE December 20, 2007
APPLICANT Taylor Pointe Subdivision, Unit One
REQUEST Subdivision



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