

SUNSET POINT SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer:

- 1) Provide all of the required information on the Plat (i.e. signatures, written legal description and required notes).
- 2) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).
- 3) Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of LOT 2.
- 4) Provide a written legal description for the proposed subdivision.
- 5) Show and label each existing easement. The "Proposed 15' Drainage and Easement" shown along the SE corner of LOT 1 should have been recorded with the original Sunset Point Subdivision, yet it is shown as a proposed easement.
- 6) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- 7) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.
- 8) Submit the required number of copies of the Recorded Sunset Point Subdivision Plat (SUB2011-00137).
- 9) The name of the proposed Subdivision should be changed because it uses the same name for the previous SUB2011-00137.
- 10) Correct the dates listed in the OWNER ACKNOWLEDGEMENT statement and SURVEYOR CERTIFICATE.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Lot 2 is denied access to Airport Boulevard and University Boulevard; shared access with Lot 1 is required, and limited to existing curb-cuts.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 7.0 acre \pm , 2 lot subdivision which is located on Northeast corner of Airport Boulevard and South University Boulevard extending North to Sunset Drive South, and East to April Street, and is in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to move a shared property line between two existing legal lots, slightly enlarging the smaller of the two existing lots.

The site fronts onto two major streets, Airport Boulevard and University Boulevard, as well as two minor streets, April Street and Sunset Drive. The rights-of-way widths of all streets are generally sufficient for their street type, however, a corner radius dedication in compliance with Section V.B.16. of the Subdivision Regulations should be required for proposed Lot 2 where Airport Boulevard and University Boulevard meet. The actual radius of the dedication should be coordinated with Engineering and Traffic Engineering.

Access management is a concern due to the site abutting two major streets, as well as abutting two minor residential streets. The site was the subject of a Planned Unit Development application, approved by the Planning Commission at its January 5, 2012 meeting. The site plan with the PUD application depicted new curb-cuts to all four abutting streets, as well as one existing curb-cut serving proposed Lot 2. The development existing on proposed Lot 2 at the time of the PUD approval has now been demolished, and thus proposed Lot 2 is vacant. Traffic Engineering, in their comments for this application, state that Lot 2 is denied direct curb-cut access to both Airport Boulevard and University Boulevard, and is limited to shared access via the curb-cuts which now exist on proposed Lot 1, which contains a new Publix grocery store.

The preliminary plat does not reflect any of the new curb-cuts built as part of the Publix development, however, it should be revised to reflect all curb-cuts built as part of the Publix development. Additionally, a note should be placed on the final plat stating that Lot 1 is limited to two (2) right-in, right-out curb-cuts to Airport Boulevard, that it is limited to one right-in, right-out only and one full access curb-cut to University Boulevard, that it is limited to one curb-cut to Sunset Drive South, and that it is limited to one in-only curb-cut from April Street. A note should also be placed on the final plat stating that Lot 2 is denied direct curb-cut access to both Airport Boulevard and University Boulevard, and is limited to shared access via Lot 1. Any existing curb-cuts from Lot 2 to Airport Boulevard are to be removed at the time Lot 2 is developed.

The boundaries of proposed Lot 2 match those depicted on the revised PUD site plan submitted on December 1, 2011, and approved by the Planning Commission at its January 5, 2012 meeting, thus a new PUD application is not required at this time. It should be noted, however, that the revised PUD site plan depicted that the existing development on proposed Lot 2 would remain, however, all structures have now been removed from proposed Lot 2. Therefore, prior to any new construction on Lot 2, a new PUD application to the Planning Commission will be required.

The 25-foot minimum building setback line, required in Section V.D.9., is shown on the preliminary plat and should be retained on the final plat, if approved.

Finally, it should be noted that seven (7) copies of the final plat for the Sunset Point Subdivision, a one lot subdivision specifically for the Publix development and now recorded in Probate Court as of May 14, 2013, has not been submitted to the Planning Section of Urban Development. Therefore, copies of the final plat for the previously approved subdivision must be submitted

prior to the signing of the final plat for the two lot subdivision at hand. Also, as the previously approved and recorded subdivision for the Publix site was named "Sunset Point Subdivision," it will be necessary to rename the application at hand in order to allow proper recording of the final plat (as noted in Engineering's comments).

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the subdivision name to allow proper recording of the Final Plat;
- 2) Submission of seven (7) copies of the May 14, 2013 recorded Final Plat for the Sunset Point Subdivision prior to the signing of the Final Plat for this application;
- 3) Dedication to provide sufficient radii in accordance to Section V.B.16. of the Subdivision Regulations, with the size and design to be approved by Engineering and Traffic Engineering and in compliance with AASHTO standards;
- 4) Retention of the lot area size, in square feet and acres, on the Final Plat;
- 5) Retention of the 25-foot minimum building line from all street frontages on the Final Plat;
- 6) Compliance with Engineering comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: 1) Provide all of the required information on the Plat (i.e. signatures, written legal description and required notes). 2) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 3) Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of LOT 2. 4) Provide a written legal description for the proposed subdivision. 5) Show and label each existing easement. The "Proposed 15' Drainage and Easement" shown along the SE corner of LOT 1 should have been recorded with the original Sunset Point Subdivision, yet it is shown as a proposed easement. 6) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 7) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. 8) Submit the required number of copies of the Recorded Sunset Point Subdivision Plat (SUB2011-00137). 9) The name of the proposed Subdivision should be changed because it uses the same name for the previous SUB2011-00137. 10) Correct the dates listed in the OWNER ACKNOWLEDGEMENT statement and SURVEYOR CERTIFICATE.);*
- 7) Compliance with Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Lot 2 is denied access to Airport Boulevard and University Boulevard; shared access with Lot 1 is required, and limited to existing curb-cuts.);*
- 8) Placement of a note on the Final Plat stating that Lot 1 is limited to two (2) right-in, right-out curb-cuts to Airport Boulevard, that it is limited to one right-in, right-out only and one full access curb-cut to University Boulevard, that it is limited to one curb-cut to Sunset Drive South, and that it is limited to one in-only curb-cut from April Street;
- 9) Placement of a note on the Final Plat stating that Lot 2 is denied direct curb-cut access to both Airport Boulevard and University Boulevard, and is limited to shared access via Lot

1. Any existing curb-cuts from Lot 2 to Airport Boulevard are to be removed at the time Lot 2 is developed.;
- 10) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 11) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*); and
- 12) Submission of a new PUD application for Planning Commission review prior to any new construction for Lot 2.

LOCATOR MAP



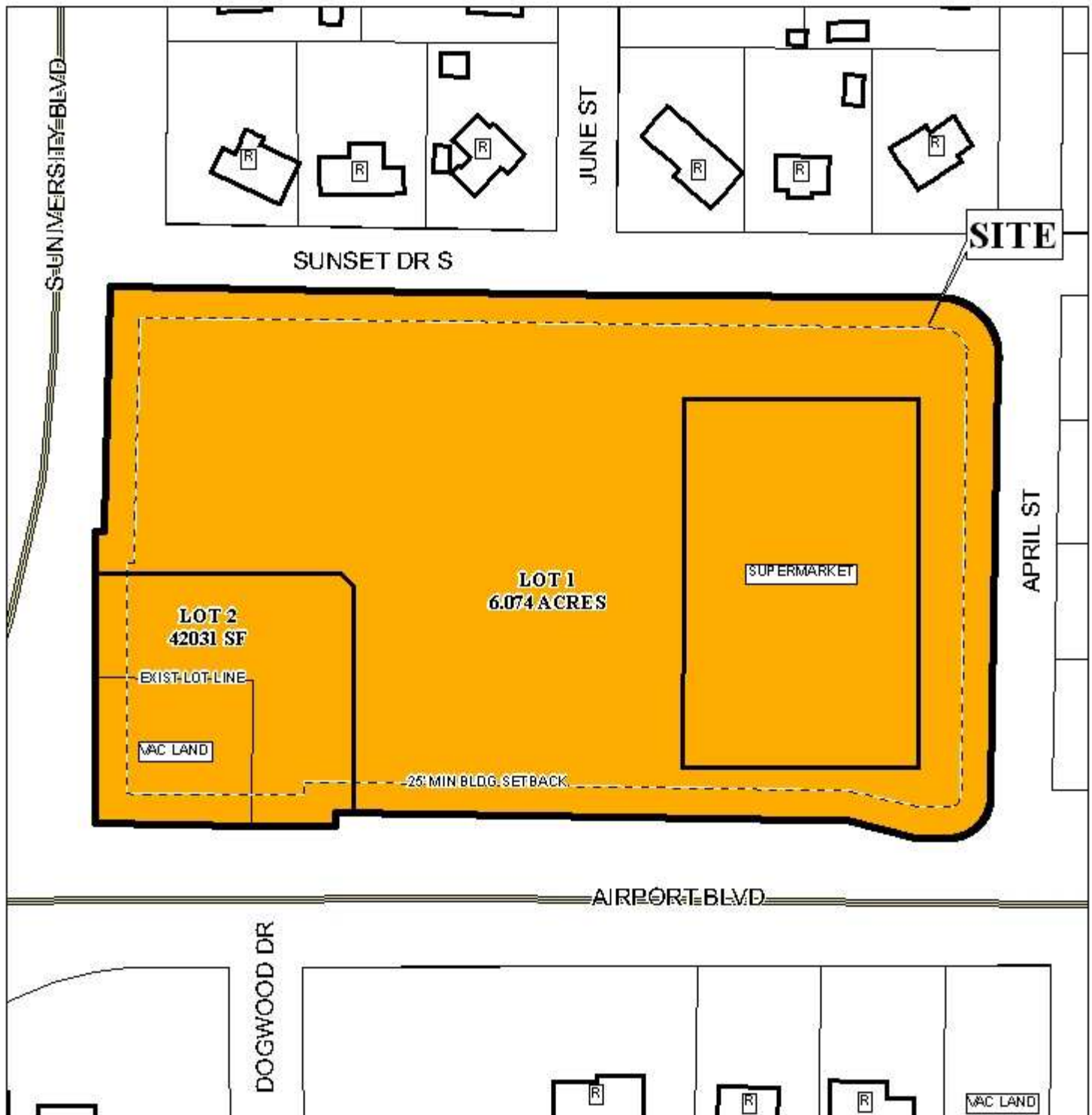
APPLICATION NUMBER 12 DATE November 7, 2013

APPLICANT Sunset Point Subdivision

REQUEST Subdivision



SUNSET POINT SUBDIVISION



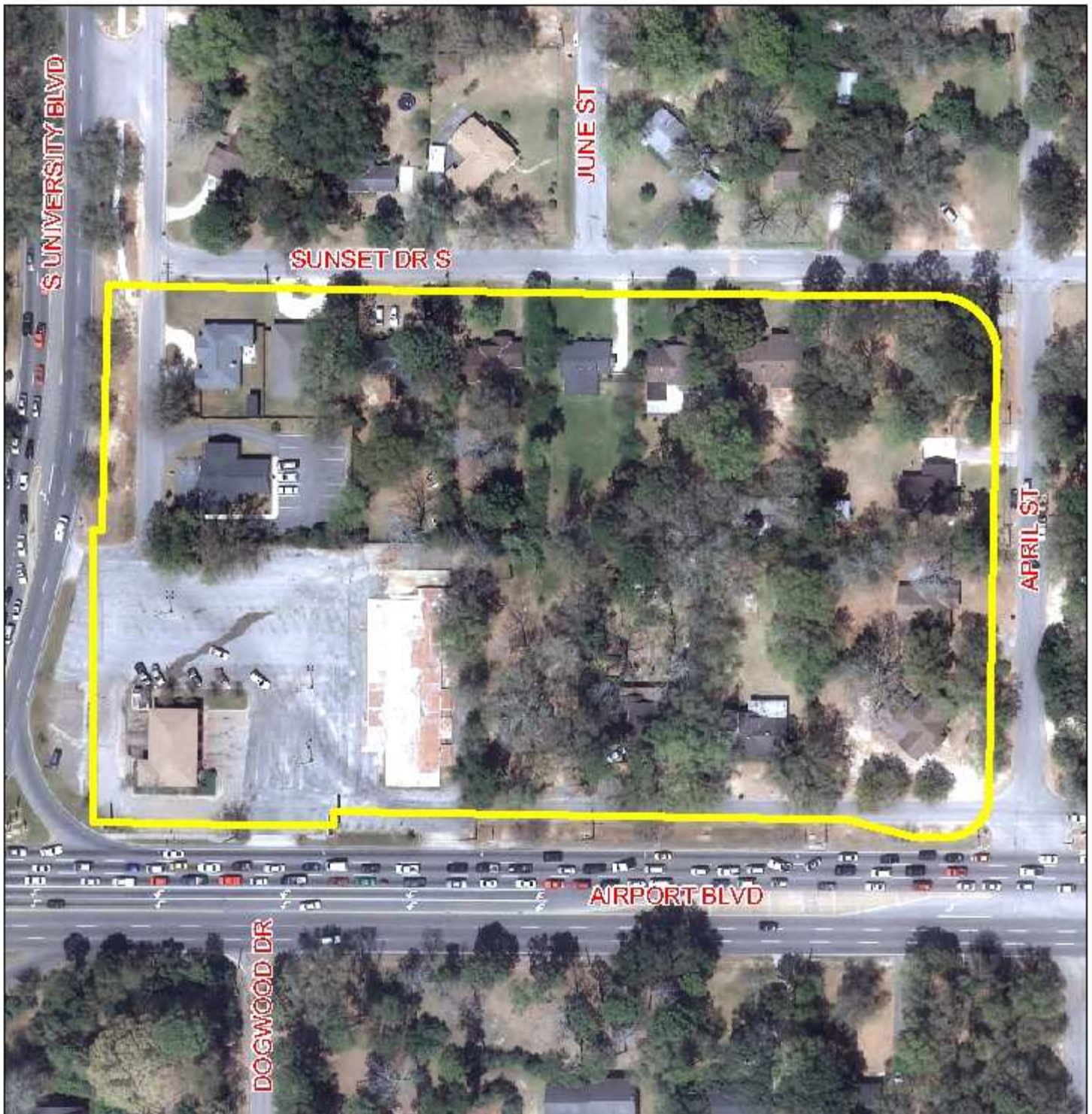
APPLICATION NUMBER 12 DATE November 7, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SUNSET POINT SUBDIVISION



APPLICATION NUMBER 12 DATE November 7, 2013

