

**PLANNING APPROVAL STAFF REPORT****Date: April 16, 2015****NAME**

Steven Carter (S&amp;A Investment Strategies LLC)

**LOCATION**

453 and 457 Conti Street  
(South side of Conti Street, 45'± West of South Hamilton  
Street and South side of Conti Street, 55'± East of South  
Lawrence Street)

**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

T5.1, Mixed-Use District of Medium Intensity

**AREA OF PROPERTY**

0.1± Acre  
4,447 square feet

**CONTEMPLATED USE**

Planning Approval to allow an event space with a building  
occupancy of over 100 persons (including employees), in  
the Downtown Development District.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Not provided

**ENGINEERING  
COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). It will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

**TRAFFIC ENGINEERING  
COMMENTS**

No comments received.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is requesting Planning Approval to allow an event space with a building occupancy of over 100 persons in a T5.1, Mixed-Use District of Medium Intensity. This site is currently located within the Downtown Development District (DDD). The Zoning Ordinance requires Planning Approval for entertainment uses with an occupancy load over 100 persons within the DDD.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for Planning Approval.

As stated by the applicant, the event space will join the two adjacent properties located at 453 and 457 Conti Street. The properties will share a common courtyard to accommodate larger venues.

As illustrated on the site plan, it appears that the applicant also desires to reroof the structure at 457 Conti Street, in addition to a new metal porch roof and new brick steps to the rear and East sides of the property. Near the southwest corner of the building, it appears that a wheel chair lift and new concrete steps with metal railing will be provided for ADA compliance and accessibility. It also appears that the existing wood fence will be removed in order to enlarge the outdoor area and to provide a continuous flow between both properties. The proposed courtyard at 457 Conti Street will adjoin the existing courtyard at 453 Conti Street (the *Anne Marie Cottage*).

It should be pointed out that the properties at 453 and 457 Conti Street are located within a unique area of the city and may require further approvals for improvements to the site. The Architectural Review Board (ARB) must approve the proposed improvements to the property and site to ensure that they support the historic integrity of the structure and surrounding area; exterior physical changes are limited to the March 4, 2015 ARB approval. Full site compliance with all municipal codes and ordinance will also be required.

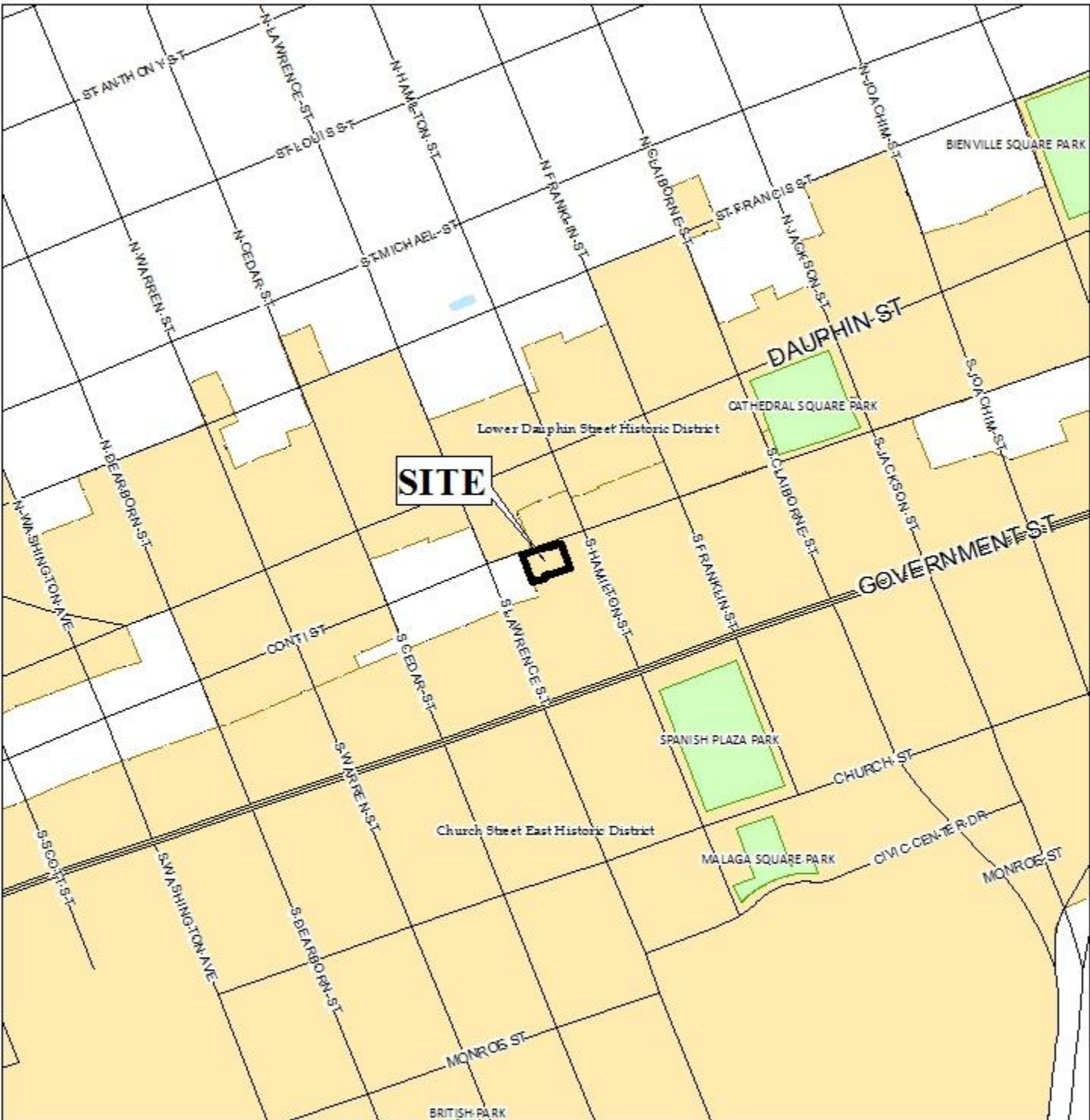
It should be noted that the applicant is seeking approval to operate an event space with an occupancy load of over 100 persons; however, no information was provided regarding the building occupancy calculations for the proposed site improvements.

### **RECOMMENDATION**

**Planning Approval:** Based on the preceding, it is recommended that this application be held over to the May 21<sup>st</sup> meeting and that the applicant submit additional information by May 4<sup>th</sup> in order to provide sufficient time to address the following:

- 1) Submittal of information regarding the maximum occupancy requested for the combined sites.

## LOCATOR MAP



APPLICATION NUMBER 12 DATE April 16, 2015

APPLICANT Steven Carter (S&A Investment Strategies LLC)

REQUEST \_\_\_\_\_ Planning Approval





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous residential and commercial units.

APPLICATION NUMBER 12 DATE April 16, 2015

APPLICANT Steven Carter (S&A Investment Strategies LLC)

REQUEST Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

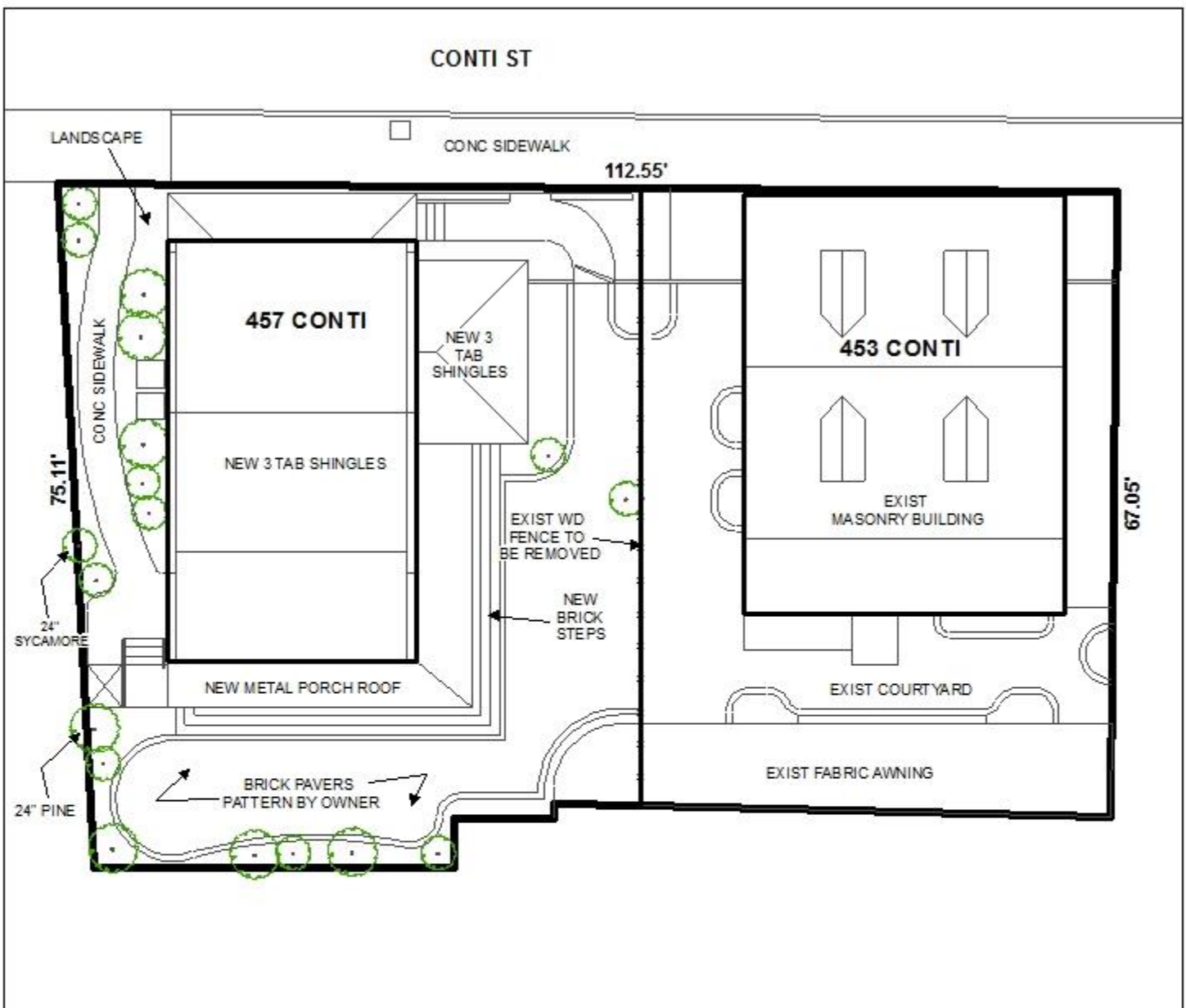


The site is surrounded by miscellaneous residential and commercial units.

APPLICATION NUMBER 12 DATE April 16, 2015  
APPLICANT Steven Carter (S&A Investment Strategies LLC)  
REQUEST Planning Approval



# SITE PLAN



The site plan illustrates the existing buildings and trees.

APPLICATION NUMBER 12 DATE April 16, 2015  
 APPLICANT Steven Carter (S&A Investment Strategies LLC)  
 REQUEST Planning Approval

