

PLANNED UNIT DEVELOPMENT**Date: July 21, 2011****DEVELOPMENT NAME**

Springhill Memorial Medical Center III

LOCATION

3715, 3717, 3719 Dauphin Street, 100 & 101 Memorial Hospital Drive and 3610 Springhill Memorial Drive North. (South side of Dauphin Street adjacent to the East side of Montlimar Creek Drainage Canal, extending to the West side of West I -65 Service Road South, 180'± North of Springhill Memorial Drive North)

CITY COUNCIL**DISTRICT**

District 5

AREA OF PROPERTY

80.0± Acre

CONTEMPLATED USE

Planned Unit Development approval to amend a previously approved Planned Unit Development Master Plan for an existing hospital with shared access and parking and multiple buildings on a single building site to allow a medical building expansion.

TIME SCHEDULE**FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. A traffic impact study was submitted for this application.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Urban Forestry will need a revised landscape plan for the project area.

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development approval to amend a previously approved Planned Unit Development Master Plan for an existing hospital with shared access and parking and multiple buildings on a single building site to allow a medical building expansion.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The applicant is proposing to expand an existing 3-story, medical office complex. The building (MOB III) currently provides 35,060 square feet; the applicant proposes an expansion of 9,435 square feet. It should be noted the Planned Unit Development (PUD) requires that ALL buildings, their uses, parking and any accessory building be illustrated on the site plan. The site plan illustrates a 252-bed hospital (252 parking spaces), seven (7) medical office buildings totaling 406,755 square feet (1,356 parking spaces) and one senior residence with 146 beds (146 parking spaces). With the 9,435 square foot expansion of MOB III, 1,754 parking spaces are required; however, the Springhill Memorial Campus provides 1,964.

Access to the campus is from Dauphin Street, West I-65 Service Road South, Springhill Memorial Drive and Wallace Memorial Drive. Sufficient circulation will be provided via these surface streets include orderly circulation on-site.

Essentially, the change of the site, along with circulation will not be changed substantially. It should be noted that no parking spaces will be lost due to the addition.

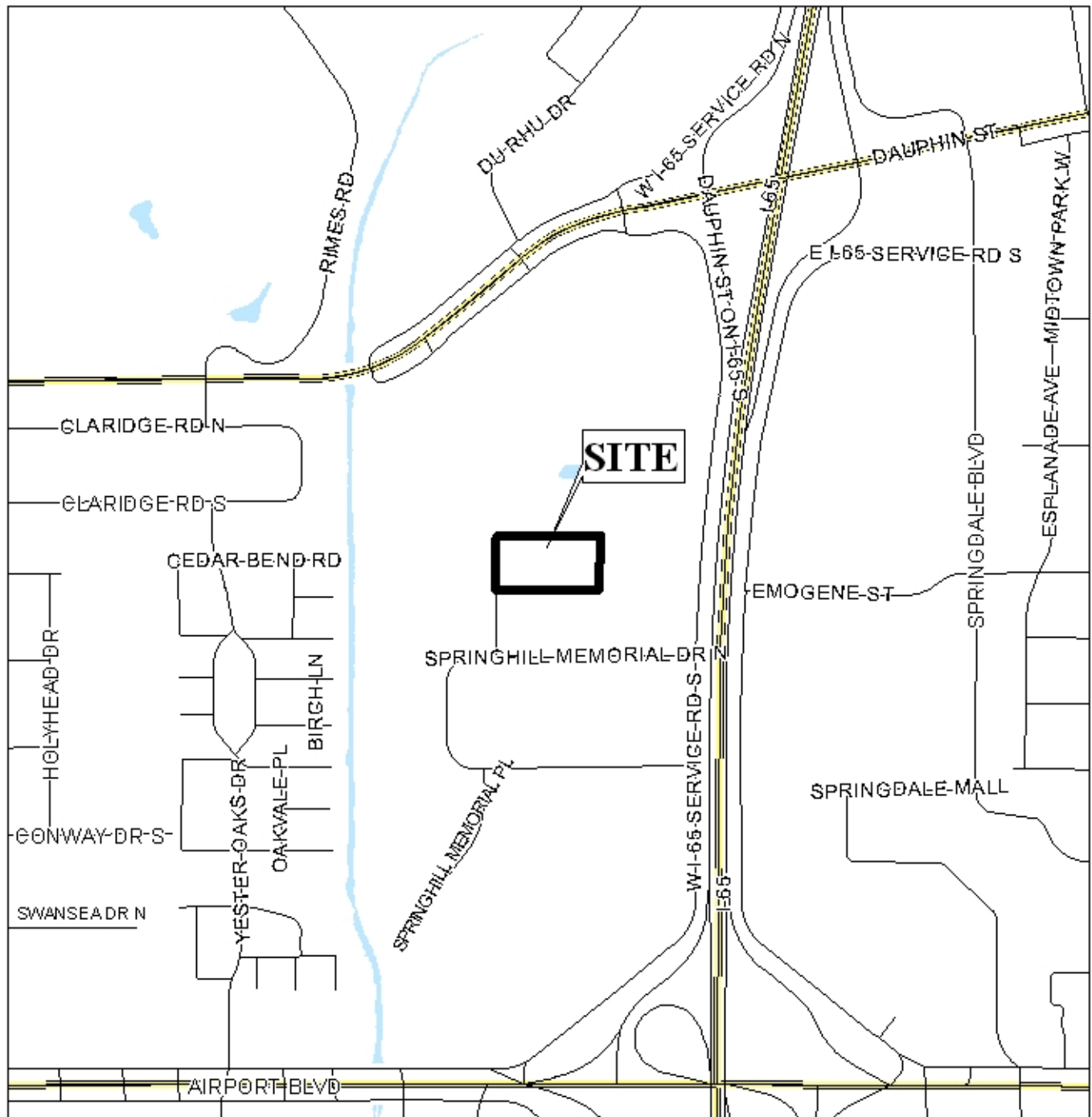
As the applicant is proposing the initial Planned Unit Development (PUD) be amended, and consequently, compliance with the tree and landscaping requirements of the Zoning Ordinance would be required due to the amending of the PUD. However, since the amendment is slight and only encompasses a small area of the campus full compliance is not required. The site plan submitted does not reflect the amount of existing landscaping or the location of existing trees on the campus. Therefore, the site plan should be revised and two copies of the site plan submitted and placed on file illustrating the location of dumpsters, landscaping and the location of existing trees.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval subject to the following condition:

- 1) compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer*);
- 2) provision of and approval of two copies of the revised PUD site plan (to include landscaping, location of existing trees and the location of dumpsters) to the Planning Section of Urban Development prior to the approval of any permits; and
- 3) full compliance with all other municipal codes and ordinances.

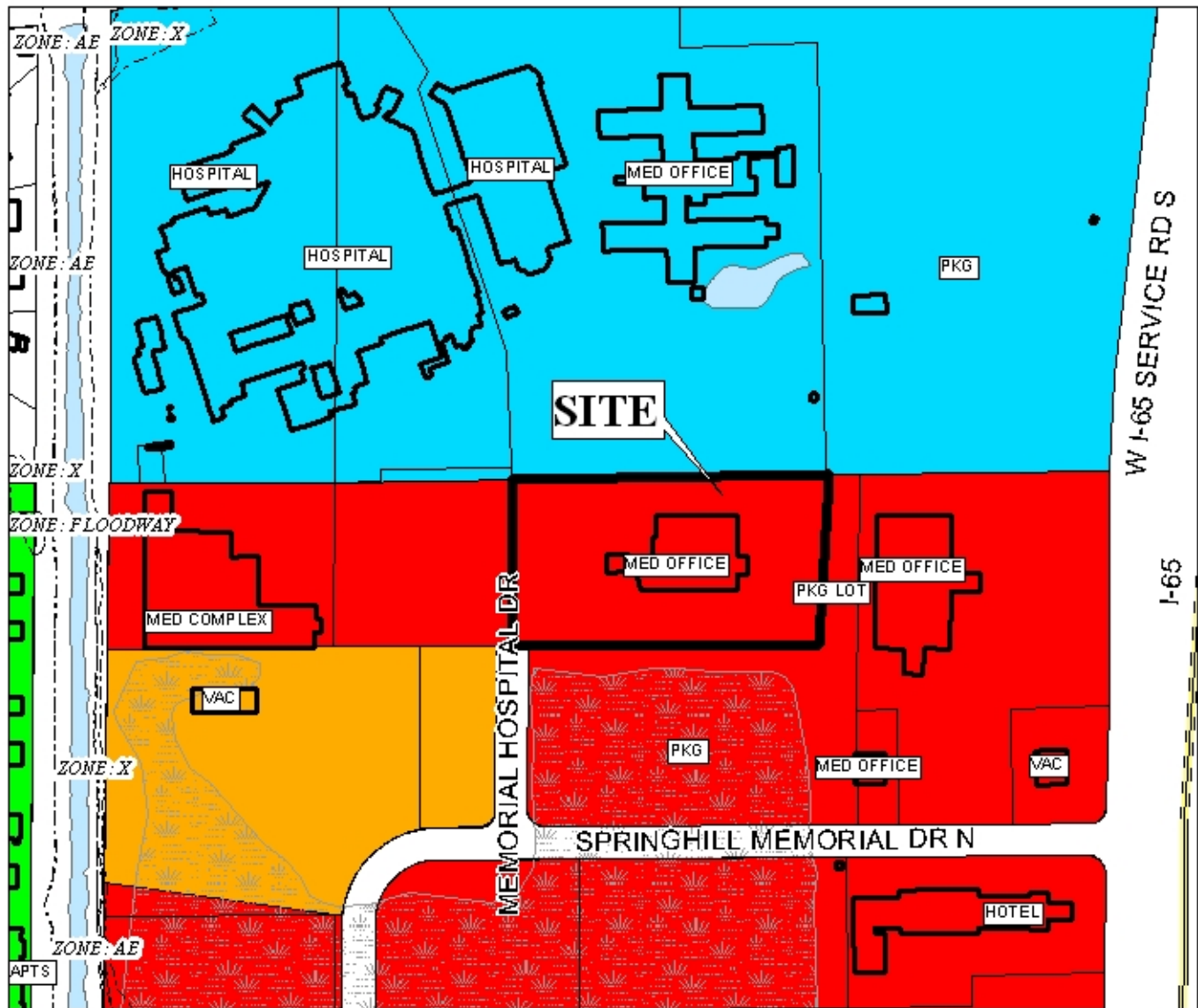
LOCATOR MAP



APPLICATION NUMBER 12 DATE July 21, 2011
APPLICANT Springhill Memorial Medical Center III
REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by medical facilities and commercial land use.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



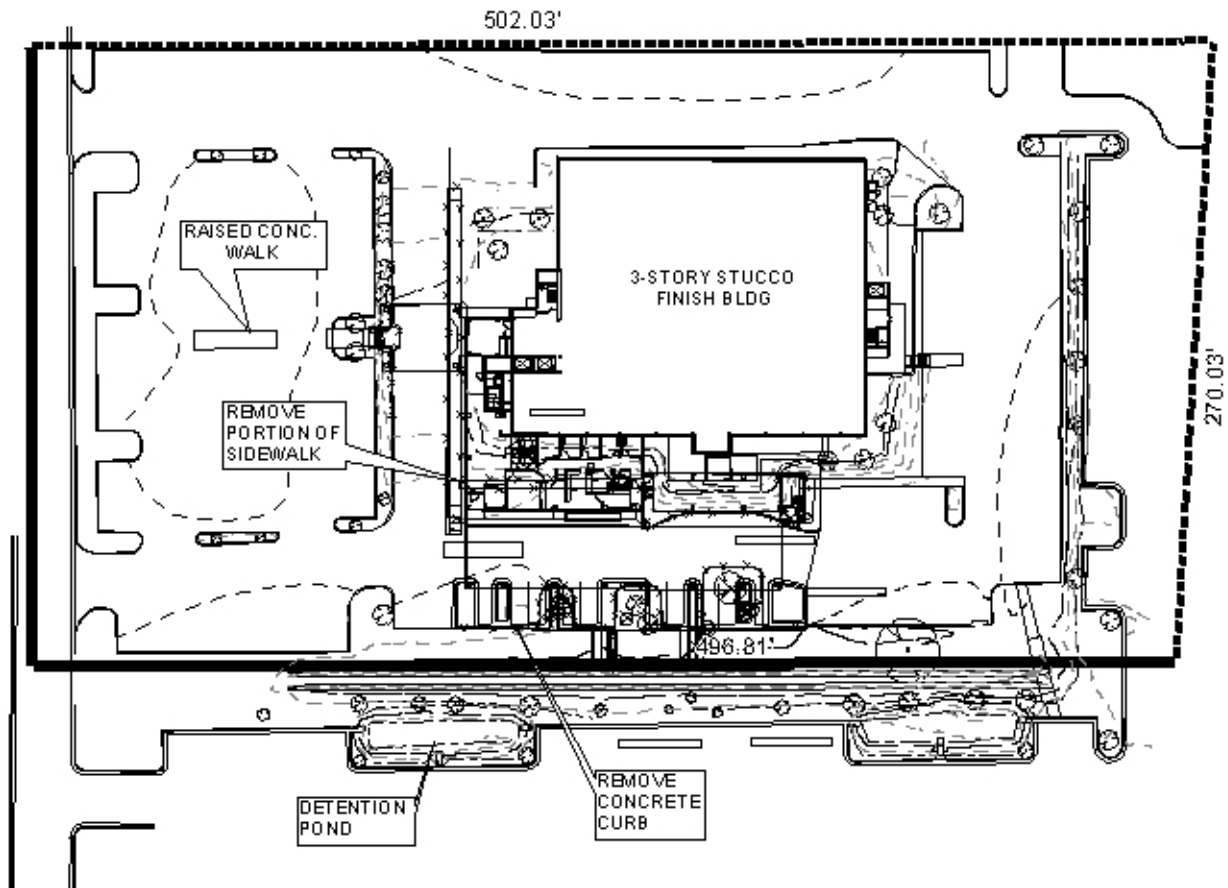
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NTS

SITE PLAN



The site plan illustrates areas of demolition.

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