

**SUBDIVISION &  
SIDEWALK WAIVER STAFF REPORT****Date: May 5, 2016**

<b><u>NAME</u></b>	Thompson Properties C/O Bob Thompson
<b><u>SUBDIVISION NAME</u></b>	Addition to Southern Industrial Park Subdivision
<b><u>LOCATION</u></b>	5680, 5700 and 5710 Larue Steiner Road (North side of Larue Steiner Road, 370'± West of U.S. Highway 90 West).
<b><u>CITY COUNCIL DISTRICT</u></b>	District 4
<b><u>AREA OF PROPERTY</u></b>	2 Lots / 6.7 ± acres
<b><u>PRESENT ZONING</u></b>	B-3, Community Business District, and I-1, Light Industry District
<b><u>CONTEMPLATED USE</u></b>	Subdivision approval to create two legal lots of record from two legal lots of record, and Sidewalk Waiver approval to waive construction of a sidewalk along Larue Steiner Road.

**ENGINEERING  
COMMENTS**

**Subdivision:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- C. Show and label the existing Lots 1, 2, and 5 that are referenced in the written description.
- D. Show and label Iron Works Road as "PRIVATE".
- E. Show and label each and every existing drainage easement within and adjacent to the proposed subdivision.
- F. The proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer. The existing drainage ditch that runs through LOT 1 and LOT 2 needs to be contained in a PUBLIC DRAINAGE EASEMENT. Additional width may be required to allow vehicular and equipment access. Additionally a PUBLIC DRAINAGE EASEMENT is required along the western property line of LOT 2.
- G. Show and label the existing adjacent lot lines at the NW side of LOT 2, including existing easements.
- H. Provide and label the monument set or found at each subdivision corner.

- I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- J. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- K. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #91) the Lot(s) will receive NO historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control.
- L. Add a note to the SUBDIVISION PLAT stating that LOT 1 and LOT 2 must provide stormwater detention for the 100 year (post-development) frequency storm event and limit the release rate to the 2 year (predevelopment) frequency storm event.
- M. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- N. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- O. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- P. After the Engineering Dept. Final Plat review is complete, provide a copy of the revised Final Plat along with the original when submitting for City Engineer signature.

**Sidewalk Waiver:** Due to the industrial zoning and the size of the existing roadside drainage ditch it is recommended that this request be approved.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Each lot is limited to one curb cut to Larue Steiner Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

### **MAWSS COMMENTS:**

No Comments.

## **REMARKS**

The applicant is seeking Subdivision approval to create 2 lots, and Sidewalk Waiver approval to waive construction of a sidewalk along Larue Steiner

Road. The site is in Council District 4. The applicant states the site is served by public water and sanitary sewer.

The proposed Lot 1 is an addition to a five-lot subdivision that was approved by the Planning Commission and subsequently recorded in Mobile County Probate Court in 1998. The proposed Lot 2 is also a part of a five-lot subdivision that was approved by the Planning Commission and subsequently recorded in Mobile County Probate Court in 2000. Both lots are within the Theodore Tillman's Corner Annexation. Annexation and rezoning of Lot 1 from R-1, Single-Family Residential to I-1, Light Industry, and Lot 2 from R-1, Single-Family Residential to B-3, Community Business, was adopted by City Council at its February 19, 2009 meeting. Most recently, the proposed Lot 2 was subject to Rezoning approval from B-3, Community Business to I-1, Light Industry, at the February 18, 2016 meeting of the Planning Commission and adopted by City Council at its April 12, 2016 meeting. The purpose of this application is to create two legal lots from three legal lots and to waive construction of a sidewalk along Larue Steiner Road required by the proposed development of Lot 2.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Proposed Lot 2 is irregularly shaped and may be regarded as a "flag" lot with a "pole" providing frontage onto Larue Steiner Road 106'± in width. Flag lots are generally discouraged by Section V.D.1. of the Subdivision Regulations. However, they are permitted only in those locations where varied and irregularly-shaped lot designs are common and the informality of design is consistent with other lots in the vicinity. For this site, the proposed new common lot line follows an existing open drainage channel, thus a waiver of Section V.D.1. may be appropriate. A note should be required on the Final Plat stating that no further re-subdivision of Lot 2 will be allowed until additional street frontage is provided.

The proposed lot sizes are not provided in either square feet or acres on the preliminary plat, and it should be noted that the width of the "pole" of the proposed "flag" Lot 2 is large enough to be potentially re-subdivided. As such, in accordance with Subdivision Regulations, the "pole" is not exclusive of unusable land, thus contributing to a maximum depth more than 3.5 times the width of the lot at the minimum building setback line; a waiver of Section V.D.3. will be required for approval. Irrespective of the width-to-depth ratio, the proposed lots exceed the minimum size requirements; but, the lots are not appropriately labeled with their sizes in square feet and acres. This information should be illustrated on the Final Plat, or a table with the same information should be provided on the Final Plat, if approved.

The proposed lots have frontage along Larue Steiner Road, a minor street without curb and gutter requiring a 60' right-of-way width. An 80' right-of-way width is depicted on the preliminary plat, therefore no dedication should be required.

The preliminary plat indicates a 25' building setback line along Larue Steiner Road, as required by Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat, if approved.

As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Larue Steiner Road, with their sizes, locations, and designs to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that there is a 15' drainage easement illustrated along the proposed North property lines of both lots, 15' drainage easements along the proposed East property line of Lot 1, 15' drainage easements along the East and West property lines of Lot 2, and a 30' drainage easement within the proposed Lot 1. A note should be placed on the Final Plat, if approved, stating that no structures shall be erected in any easements.

Also, any additional site improvements of the proposed lots are subject to the acquisition of the appropriate land disturbance and building permits, and should comply with all applicable codes and ordinances.

Regarding the Sidewalk Waiver request, the applicant states:

*“THIS PROPERTY IS ZONED I-1 AND IS AN OPEN DITCH SECTION WITH VERY STEEP SECTIONS BEING 1:1 SLOPES IN MOST AREAS. THERE IS A MAJOR CROSSDRAIN THROUGH THIS PROPERTY THAT MAKES IT IMPOSSIBLE FOR WALKING TRAFFIC TO THE WEST. ALSO THIS IS LOCATED NEXT TO TRACTOR SUPPLY WHICH HAS OBTAINED A VARIANCE OF SIDEWALKS AS WELL. THE SIDEWALK IS NOT IN LINE WITH THE SURROUNDING INDUSTRIAL USES AND WOULD NOT BE BENEFICIAL FOR WALKING TRAFFIC AS IT LEADS TO THIS MAJOR CROSS DRAIN. THE CONSTRUCTION OF THE SIDEWALK DOES NOT ALLOW FOR A CONSTRUCTION THAT IS SUITABLE FOR THIS DEVELOPMENT OR ADJACENT PROPERTIES.”*

Larue Steiner Road has a two lane cross-section at this location and is characteristic of an open ditch roadway. There are currently no sidewalks along either side of the street; however, it should be taken into consideration that the proposed development of the site may generate an increase in pedestrian and automotive traffic. Furthermore, while the site may be industrially zoned, there are several sites in the immediate vicinity that are commercially zoned yet undeveloped. As these neighboring sites are developed or re-developed, sidewalks will be required.

It should be noted that the Mobile City Council adopted a “complete streets” policy on May 31, 2011, the purpose of which is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians.

Because the area is primarily industrially developed, and Map for Mobile indicates this to be an industrial development area, it would appear that pedestrian traffic in the vicinity is minimal and would not likely increase due to the inherent conditions of such development; this is perhaps reinforced by the waiver of a sidewalk at a neighboring commercial development by the Planning Commission at its December 16, 2010 meeting. Also, because Larue Steiner Road is lined with open ditches, the topography at the shoulder of the road does not lend itself to a sidewalk. Given such conditions, a waiver of the construction of the sidewalk along Larue

Steiner Road may be appropriate at this time. Additional development or redevelopment of this site in the future, to include the installation of underground drainage, may allow for re-evaluation.

## **RECOMMENDATION**

**Subdivision:** With a waiver of Sections V.D.1. and V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

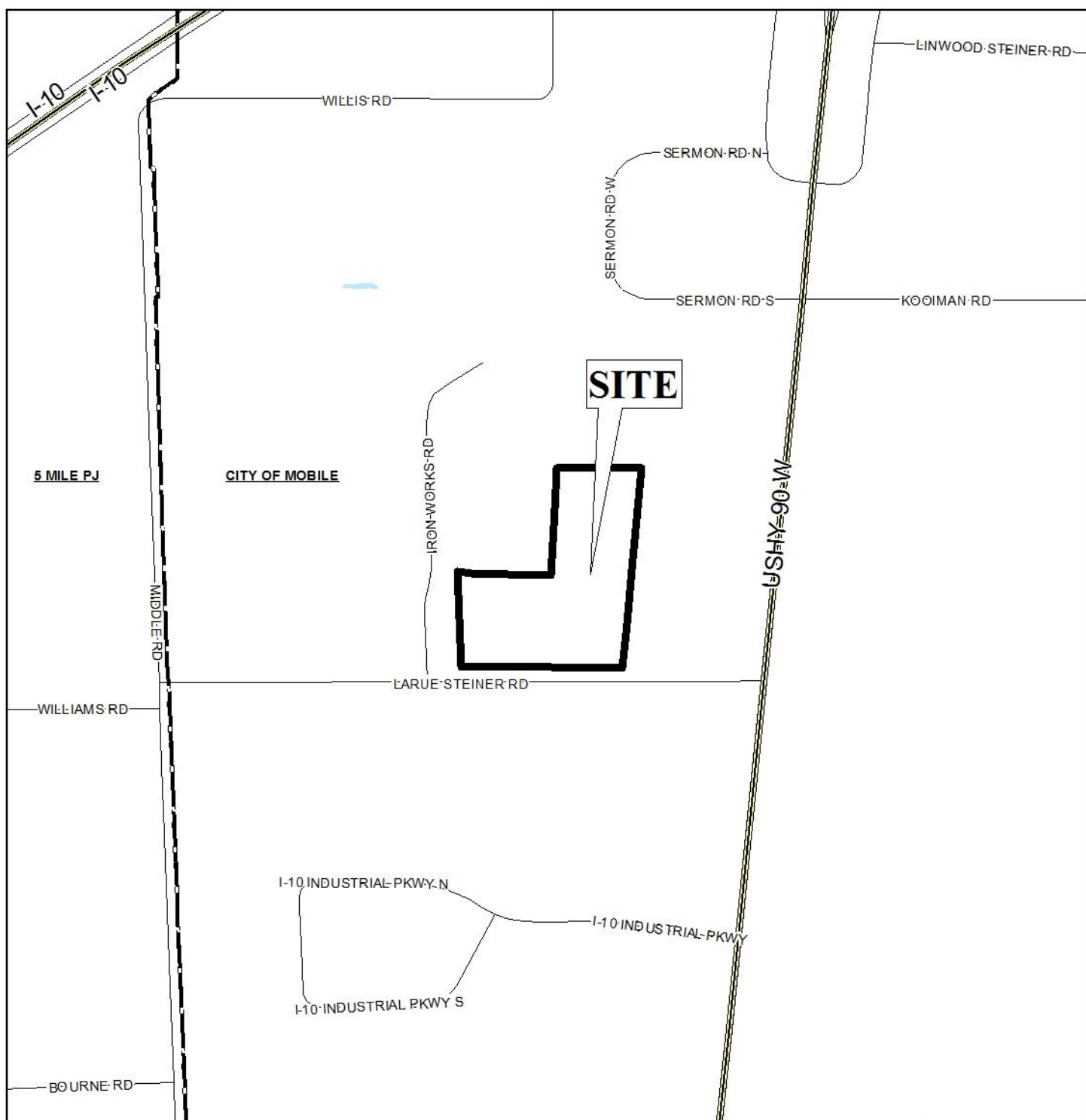
- 1) placement of a note on the Final Plat stating that no further re-subdivision of Lot 2 will be allowed until additional street frontage is provided;
- 2) labeling of the lot sizes in square feet and acres, or a table with the same information provided on the Final Plat;
- 3) retention of the 25' minimum building setback line on the Final Plat;
- 4) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Larue Steiner Road, with their sizes, locations, and designs to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) a note stating that no structures shall be erected in any easements;
- 6) compliance with Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A) Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B) Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. C) Show and label the existing Lots 1, 2, and 5 that are referenced in the written description. D) Show and label Iron Works Road as "PRIVATE". E) Show and label each and every existing drainage easement within and adjacent to the proposed subdivision. F) The proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer. The existing drainage ditch that runs through LOT 1 and LOT 2 needs to be contained in a PUBLIC DRAINAGE EASEMENT. Additional width may be required to allow vehicular and equipment access. Additionally a PUBLIC DRAINAGE EASEMENT is required along the western property line of LOT 2. G) Show and label the existing adjacent lot lines at the NW side of LOT 2, including existing easements. H) Provide and label the monument set or found at each subdivision corner. I) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. J) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. K) Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #91) the Lot(s) will receive NO historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. L) Add a note to the SUBDIVISION PLAT stating that LOT 1 and LOT 2*

*must provide stormwater detention for the 100 year (post-development) frequency storm event and limit the release rate to the 2 year (predevelopment) frequency storm event. M) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. N) Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. O) Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. P) After the Engineering Dept. Final Plat review is complete, provide a copy of the revised Final Plat along with the original when submitting for City Engineer signature.);*

- 7) compliance with Traffic Engineering comments: *(Comments);*
8. compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
9. compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).);*
10. completion of the subdivision process prior to any requests for new construction; and
11. compliance with applicable codes and ordinances.

**Sidewalk Waiver:** Based upon the preceding, this application for waiver of the sidewalk along Larue Steiner Road is recommended for approval; however future development or re-development of Lot 1 will necessitate a new application.

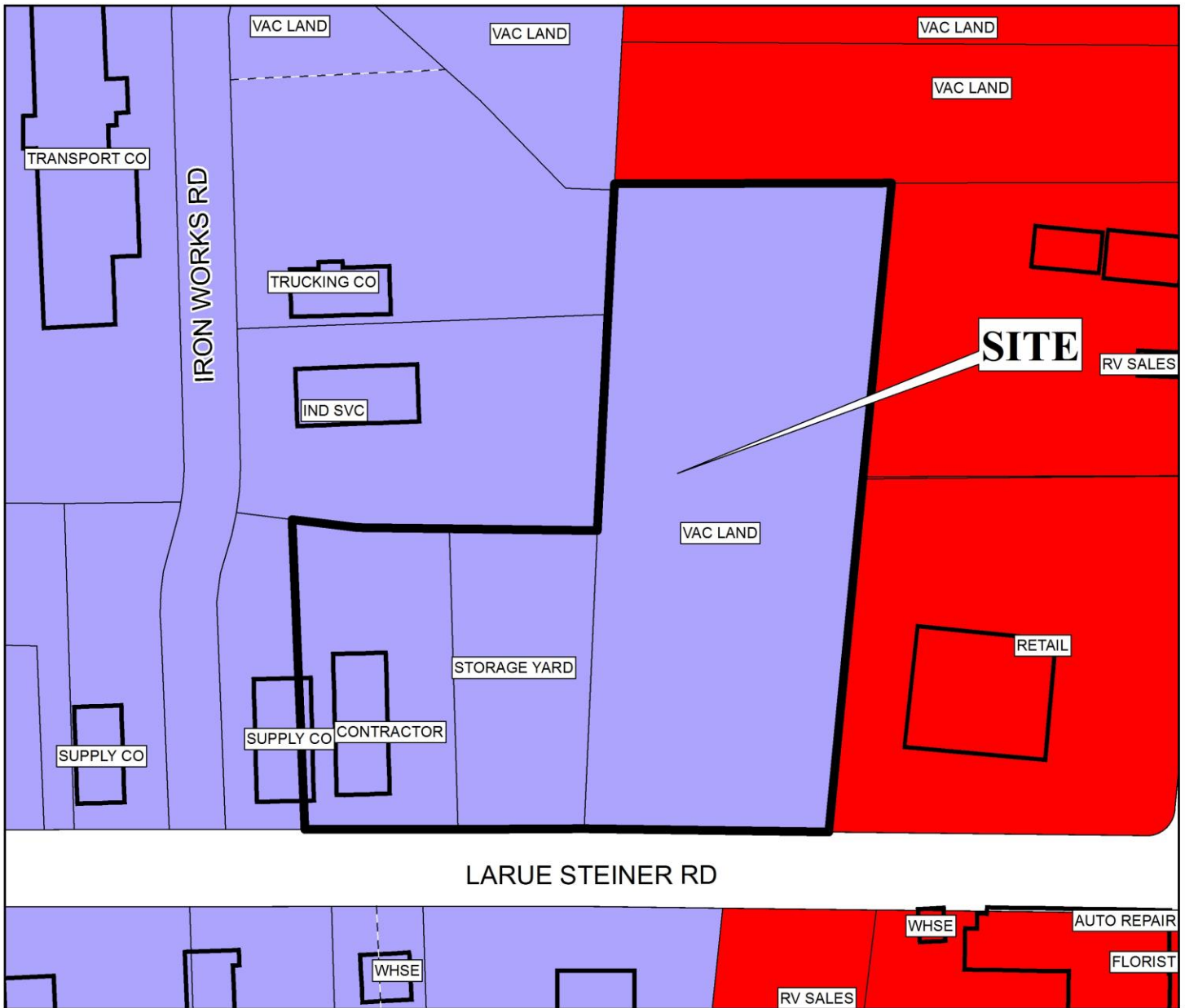
# LOCATOR MAP



APPLICATION NUMBER 12 DATE May 5, 2016  
APPLICANT Southern Industrial Park Subdivision, Addition to  
REQUEST Subdivision, Sidewalk Waiver



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

APPLICATION NUMBER 12 DATE May 5, 2016

APPLICANT Southern Industrial Park Subdivision, Addition to

REQUEST Subdivision, Sidewalk Waiver

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

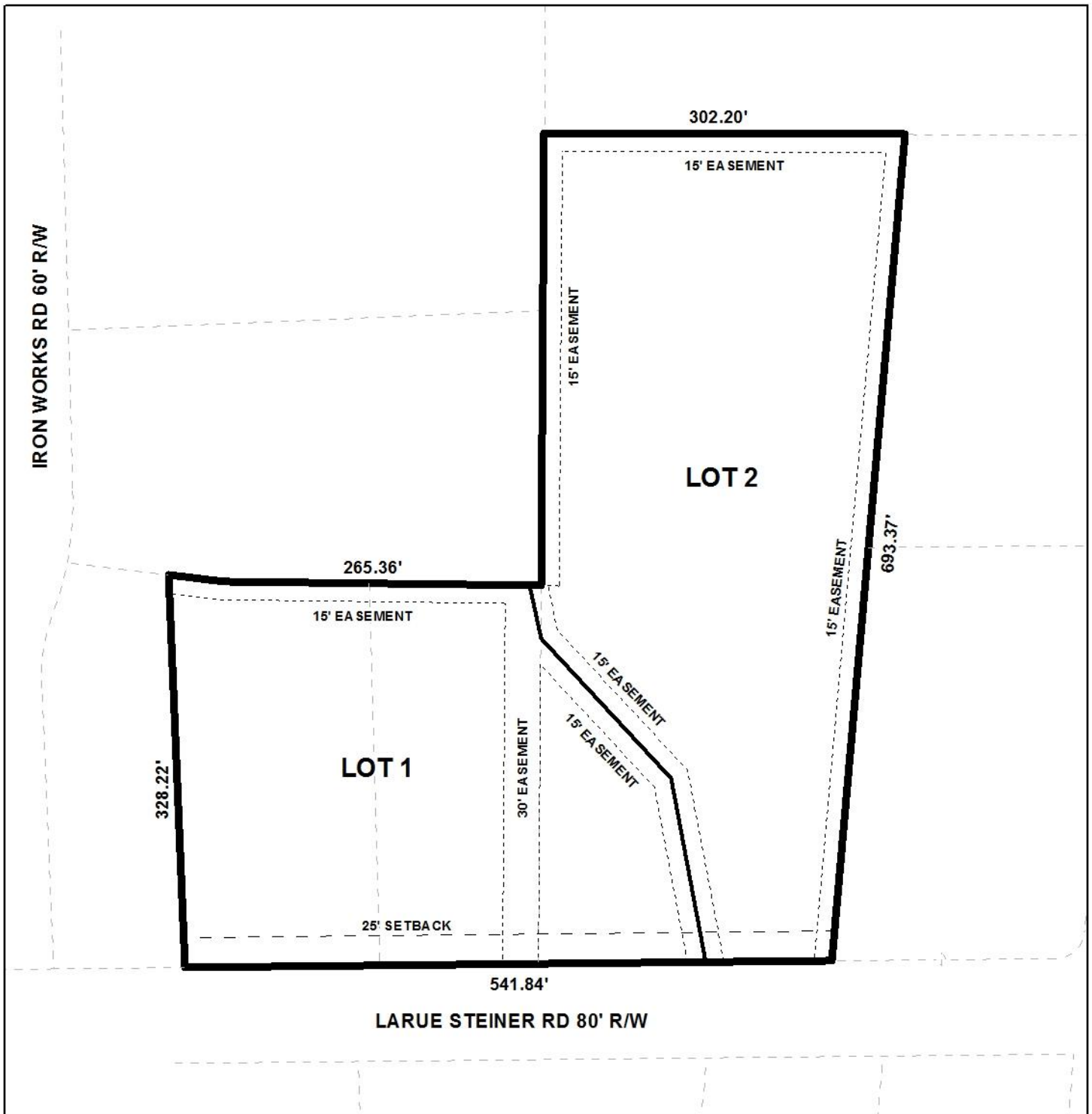


The site is surrounded by commercial units.

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# DETAIL SITE PLAN

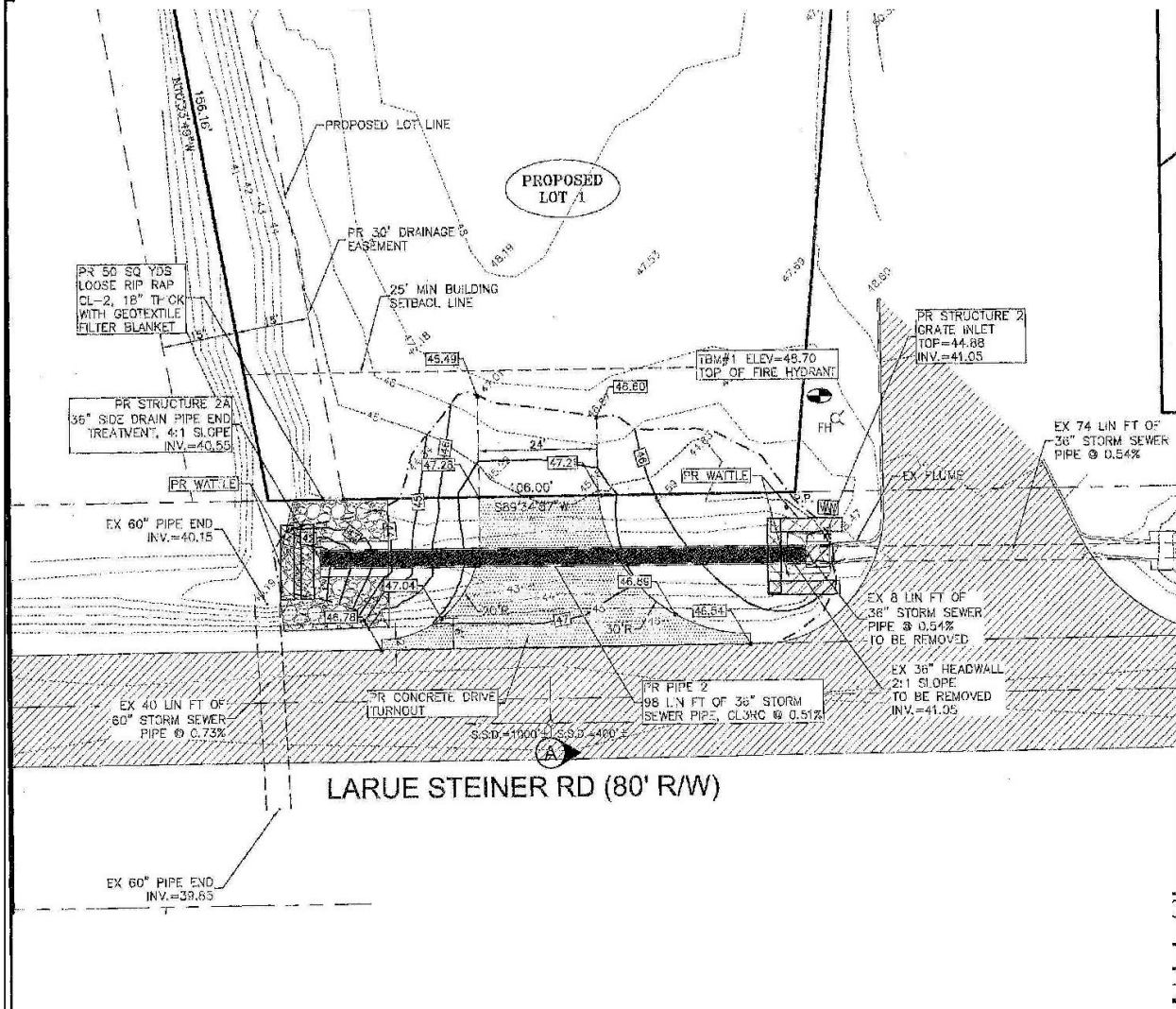


APPLICATION NUMBER 12 DATE May 5, 2016  
APPLICANT Southern Industrial Park Subdivision, Addition to  
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# DETAIL SITE PLAN



APPLICATION NUMBER 12 DATE May 5, 2016

APPLICANT Southern Industrial Park Subdivision, Addition to

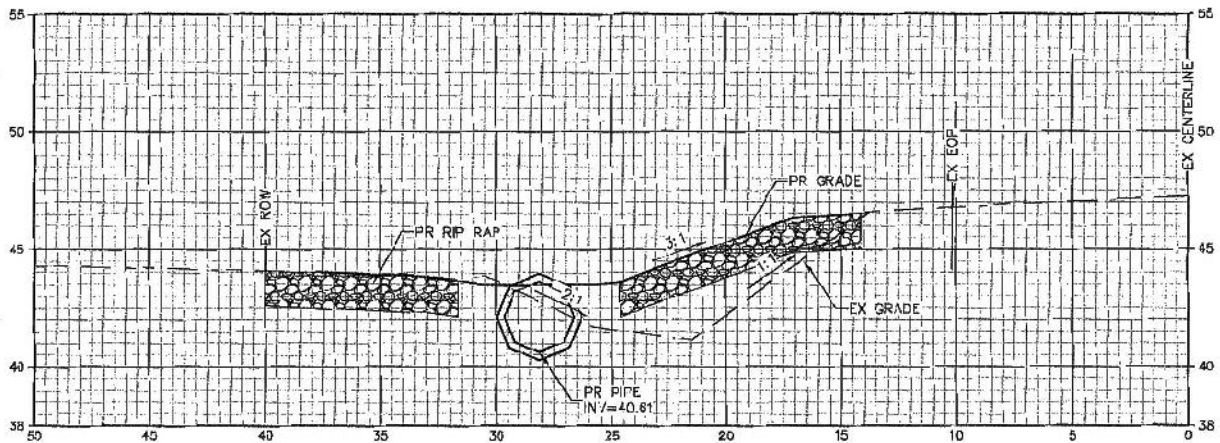
REQUEST Subdivision, Sidewalk Waiver



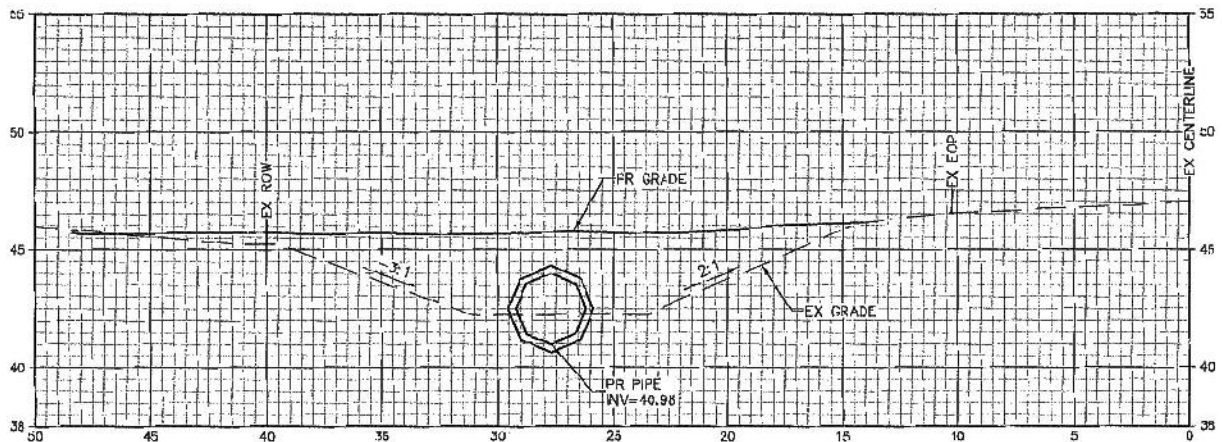
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# DETAIL SITE PLAN

## SECTION WEST OF DRIVE



## SECTION EAST OF DRIVE



APPLICATION NUMBER 12 DATE May 5, 2016

APPLICANT Southern Industrial Park Subdivision, Addition to

REQUEST Subdivision, Sidewalk Waiver

