

SCOTT'S PLACE SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: Shall comply with Section 508.5.1 of the 2003 International Fire Code

MAWWS Comments: None provided

The plat illustrates the proposed 0.2± acre, 2 lot subdivision, which is located on the Southeast corner of Plover Street and Partridge Street. The applicant states the site is served by city water and sanitary system.

The purpose of this application is to create two legal lots from two existing lots.

According to the proposed plat, there are currently two residential dwellings on the subject property. While the current lots run North and South facing Plover Street, the homes were built East and West across both lots and face Partridge Street. Research shows that the homes were built in the early 60's. Proposed Lots 1 and 2 are oriented East and West to face Partridge Street, in accordance with the existing homes.

While approval will require side and front setback waivers, the existing structures are already non-conforming with the setback regulations. Approval of the proposed subdivision will neither alter nor worsen the existing non-conforming setbacks. The approval of the proposed lots will legitimize the homes on legal lots. It is recommended that the 25' minimum building setback line of the Subdivision Regulations be reduced in favor of those in the Zoning Ordinance; Lot 1, at 44' in width, is to have 25' in front, 8' in the rear, 8.4' on the side and 6.3 on the other side. Lot 2, at 47.69', is to have 25' in front, 8' in the rear, 6.9' on the side and 9.1' on the other side. Any future development of either lot must meet the required setbacks. In addition, the required setbacks should be shown on the final plat.

Proposed Lot 1 fronts both Partridge Street and Plover Street while proposed Lot 2 fronts Partridge Street. Both streets appear to have adequate right-of-way width of 50' however, there appears to be a masonry wall in the right-of-way to the North of proposed Lot 1. The wall should be demolished (with proper permits) prior to the signing of the final plat or a permit from right-of-way should be obtained.

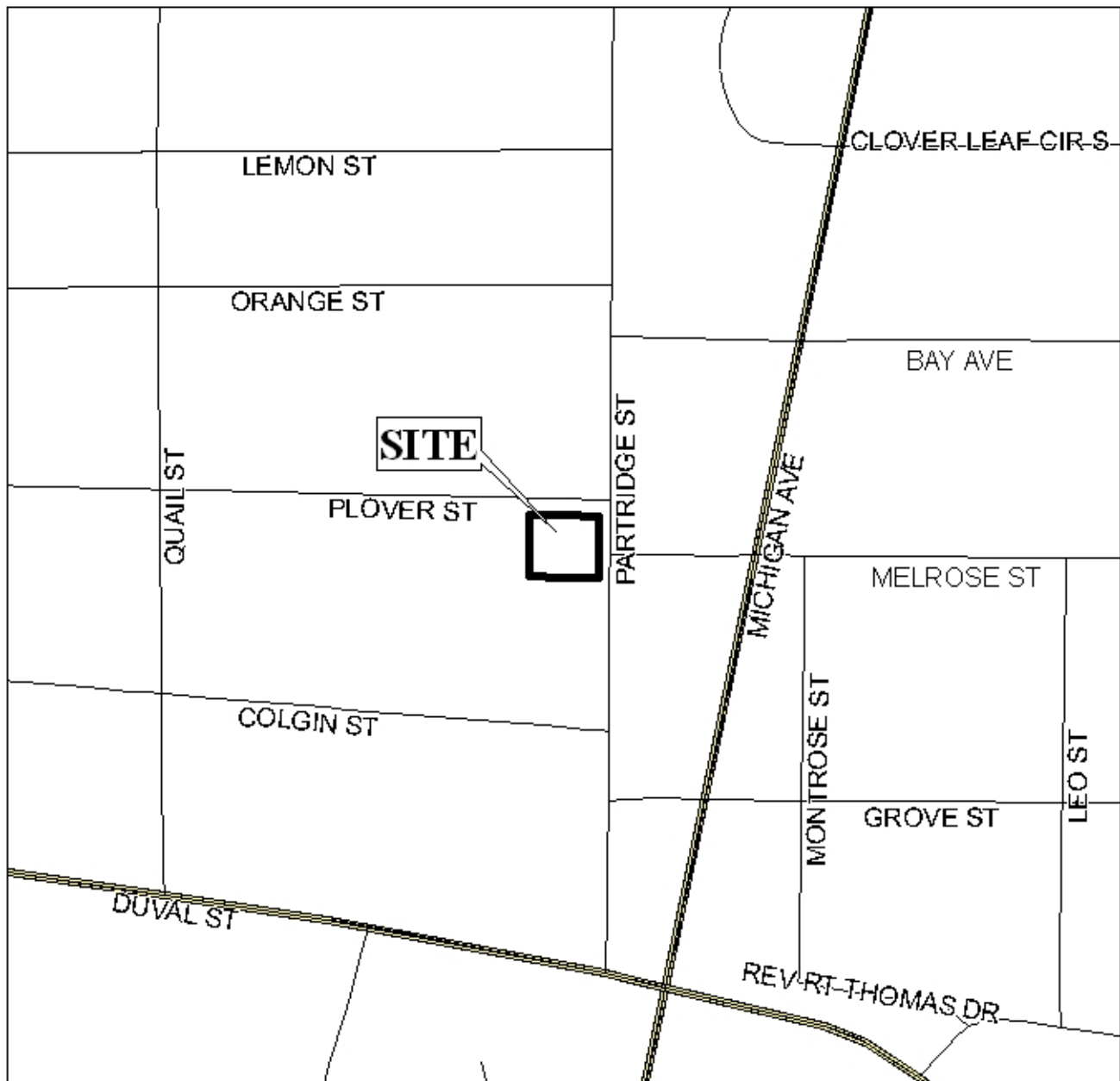
Proposed Lot 1 would have approximately 44' of frontage along Partridge Street and approximately 100' of frontage along Plover Street. Proposed Lot 2 would have approximately 45' onto Partridge Street. As a means of access management, a note should be placed on the final plat stating that the proposed Lot 1 is limited to one curb cut to Partridge Street and denied access to Plover Street, while proposed Lot 2 is limited to one curb cut onto Partridge Street with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for approval subject to the following conditions:

- 1) Placement of a note on the final plat stating that any new additions must meet all required setbacks;
- 2) Revision of the plat to show the Zoning Ordinance setbacks
 - Lot 1: Front Setback: 25 feet
 - Rear 8 feet
 - Side(street) 8.4 feet
 - Other Side 6.3 feet
 - Lot 2: Front Setback: 25 feet
 - Rear 8 feet
 - Side(min.) 6.9 feet
 - Side(other) 9.1 feet
- 3) Demolition of the masonry wall to the North of proposed Lot 1 or obtainment of a permit for the wall prior to the signing of the final plat;
- 4) Placement of a note stating that Lot 1 is limited to one curb cut onto Partridge Street and denied access to Plover Street, while Lot 2 is limited to one curb cut onto Partridge Street with the size, location and design of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards; and
- 5) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



APPLICATION NUMBER 12 DATE August 7, 2008

APPLICANT Scott's Place Subdivision

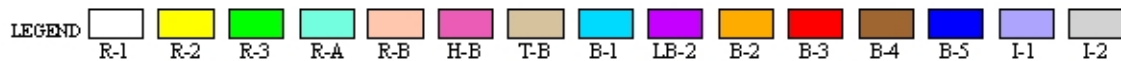
REQUEST Subdivision



SCOTT'S PLACE SUBDIVISION

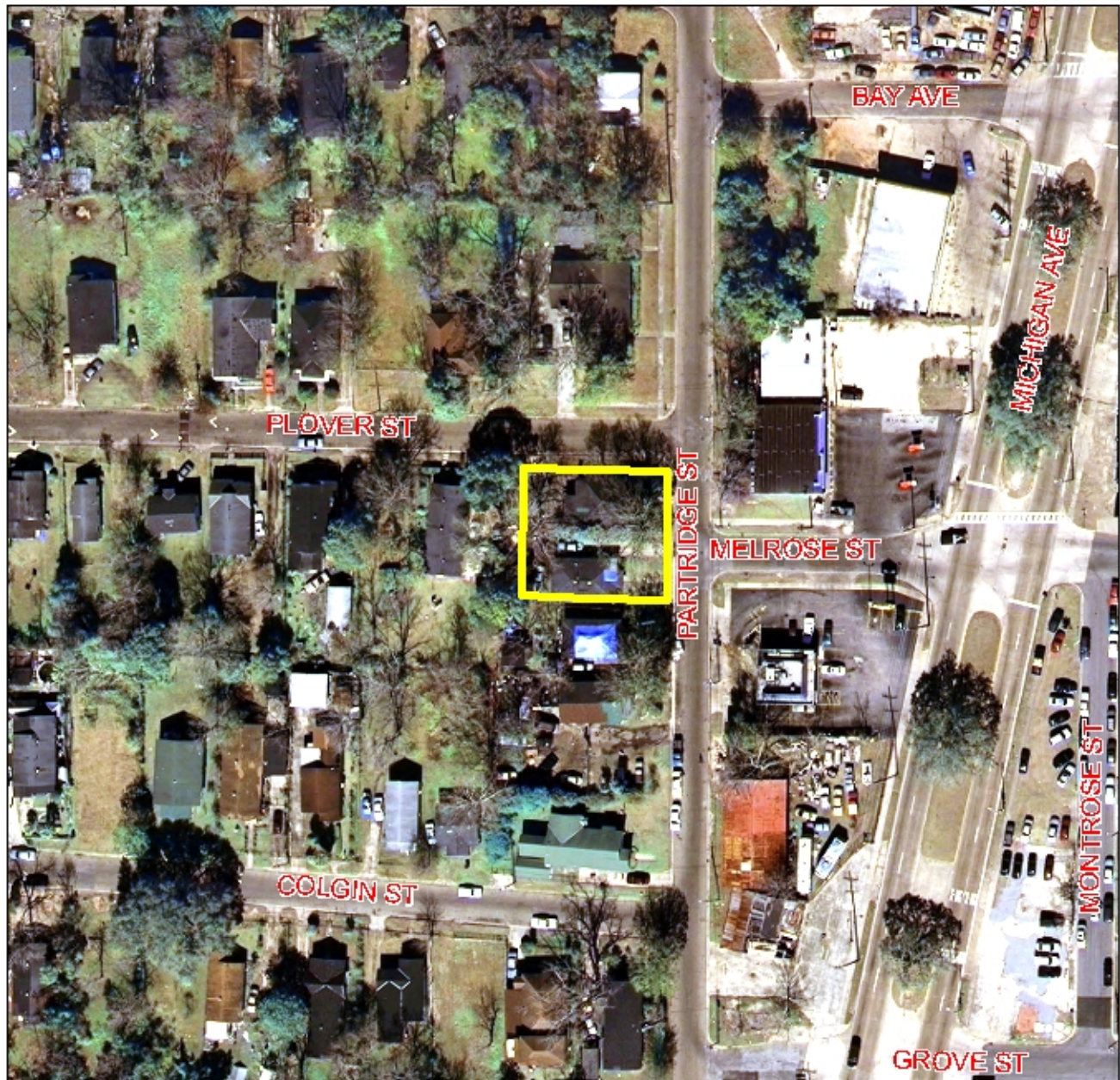


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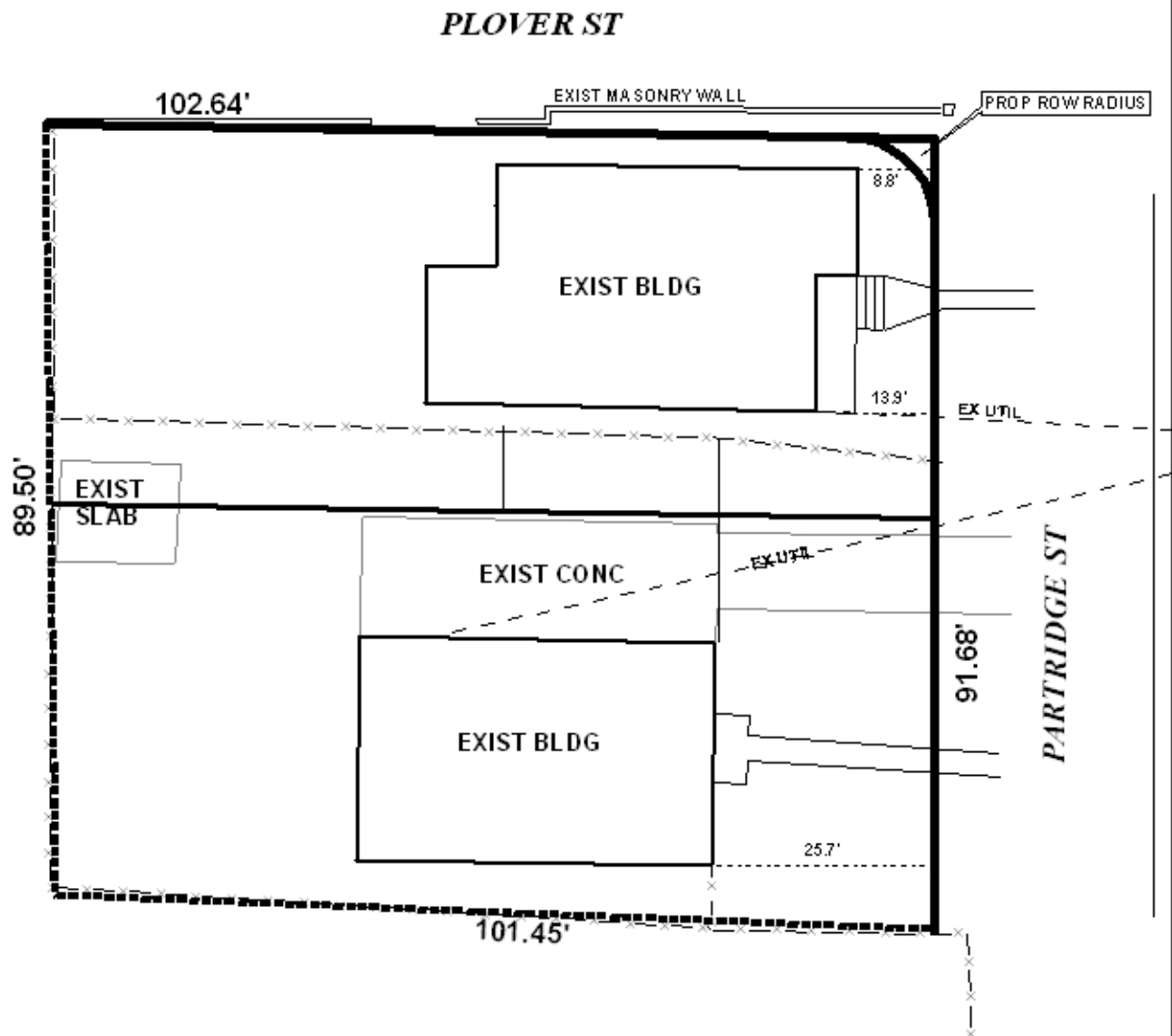
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DETAIL SITE PLAN



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APPLICANT Scott's Place Subdivision

REQUEST Subdivision

