

ROBERT MOORE PARK SUBDIVISION, **RESUBDIVISION OF LOT 1**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 23 - #87) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature

Traffic Engineering Comments: Lot 2 is limited to no more than two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Based on its existing development, Lot 1 is limited to no more than its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any changes to the site that will require a PUD may also require changes to driveway/access for Lot 1.

Urban Forestry Comments: No comments.

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot

guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2-lot, 17.3± acre subdivision, which is located on the East side of Halls Mill Road, 140'± North of Alden Drive, in Council District 4. The applicant states the site is served by city water and sewer services.

The purpose of this application is to re-subdivide one existing legal lot of record into two legal lots of record. It should be noted that the site was also the subject of a Planned Unit Development (PUD) to allow multiple buildings on the single building site, approved by the Commission in 2008. In the current application, no buildings are proposed on Lot 2 and no changes are proposed to the existing buildings or site on Lot 1. Therefore, no PUD will be required to amend the previously approved PUD until such time that development is proposed on either lot.

The site fronts onto Halls Mill Road, a collector street, with a required 70' right-of-way and a current 35' from the centerline of the right-of-way along the site. Therefore, no dedication would be required. Proposed Lot 1 is already developed with multiple curb cuts. As a means of access management, a note should be required on the Final Plat stating that Lot 1 is limited to the existing curb cuts to Halls Mill Road. Proposed Lot 2 is undeveloped. As per Traffic Engineering, a note should be required on the Final Plat stating that Lot 2 is limited to two curb cuts to Halls Mill Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Each lot meets the minimum area and width requirements of the Subdivision Regulations. Lot 2 would exceed the depth-to-width ratio limit of Section V.D.3. of the Subdivision Regulations; however, as narrow lots are common within the area, a waiver of this Section would seem in order. The plat should be revised to label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information. As on the preliminary plat, the 25' minimum building setback line along Halls Mill Road should be retained on the Final Plat.

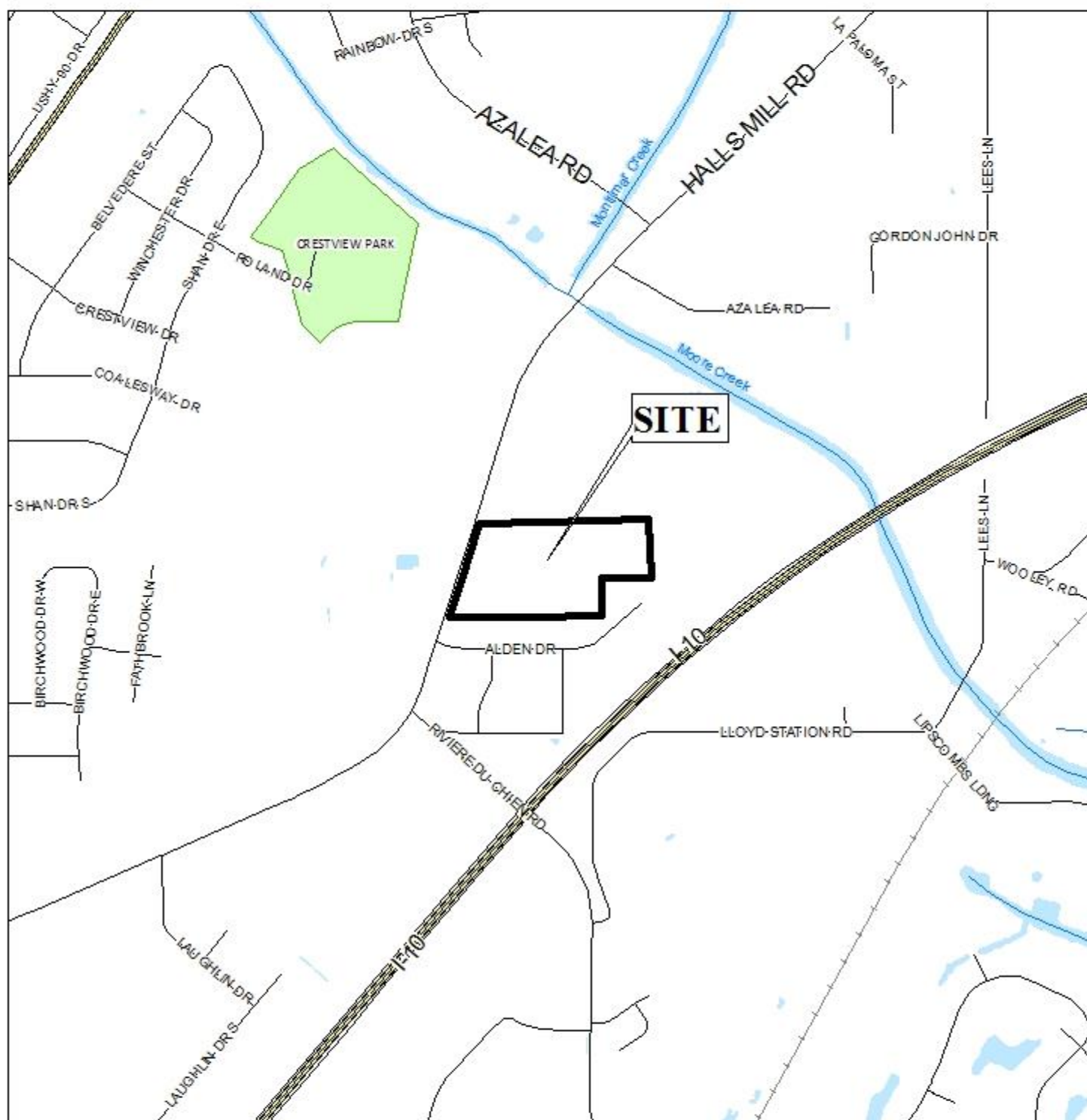
A 40' wide drainage easement traverses both proposed lots. Therefore, a note should be required on the Final Plat stating that no structures may be constructed within the drainage easement.

With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that a Planned Unit Development (PUD) application will be necessary at the time of proposed development for either lot to amend the previously approved PUD (ZON2008-02059) for the site;
- 2) placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cuts to Halls Mill Road;
- 3) placement of a note on the Final Plat stating that Lot 2 is limited to two curb cuts, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;

- 4) revision of the plat to label each lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) retention of the 25' minimum building setback line along Halls Mill Road on the Final Plat;
- 6) placement of a note on the Final Plat stating that no structures may be constructed within the 40' wide drainage easement across the site;
- 7) subject to the Engineering comments: *[The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
 - A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.*
 - B. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
 - C. *Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 23 - #87) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.*
 - D. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.*
 - E. *Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.*
 - F. *Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*
 - G. *Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.*
 - H. *Provide a copy of the Final Plat along with the original when submitting for City Engineer signature];*
- 8) subject to the Traffic Engineering comments: *(Lot 2 is limited to no more than two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Based on its existing development, Lot 1 is limited to no more than its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any changes to the site that will require a PUD may also require changes to driveway/access for Lot 1.); and*
- 9) subject to the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)].*

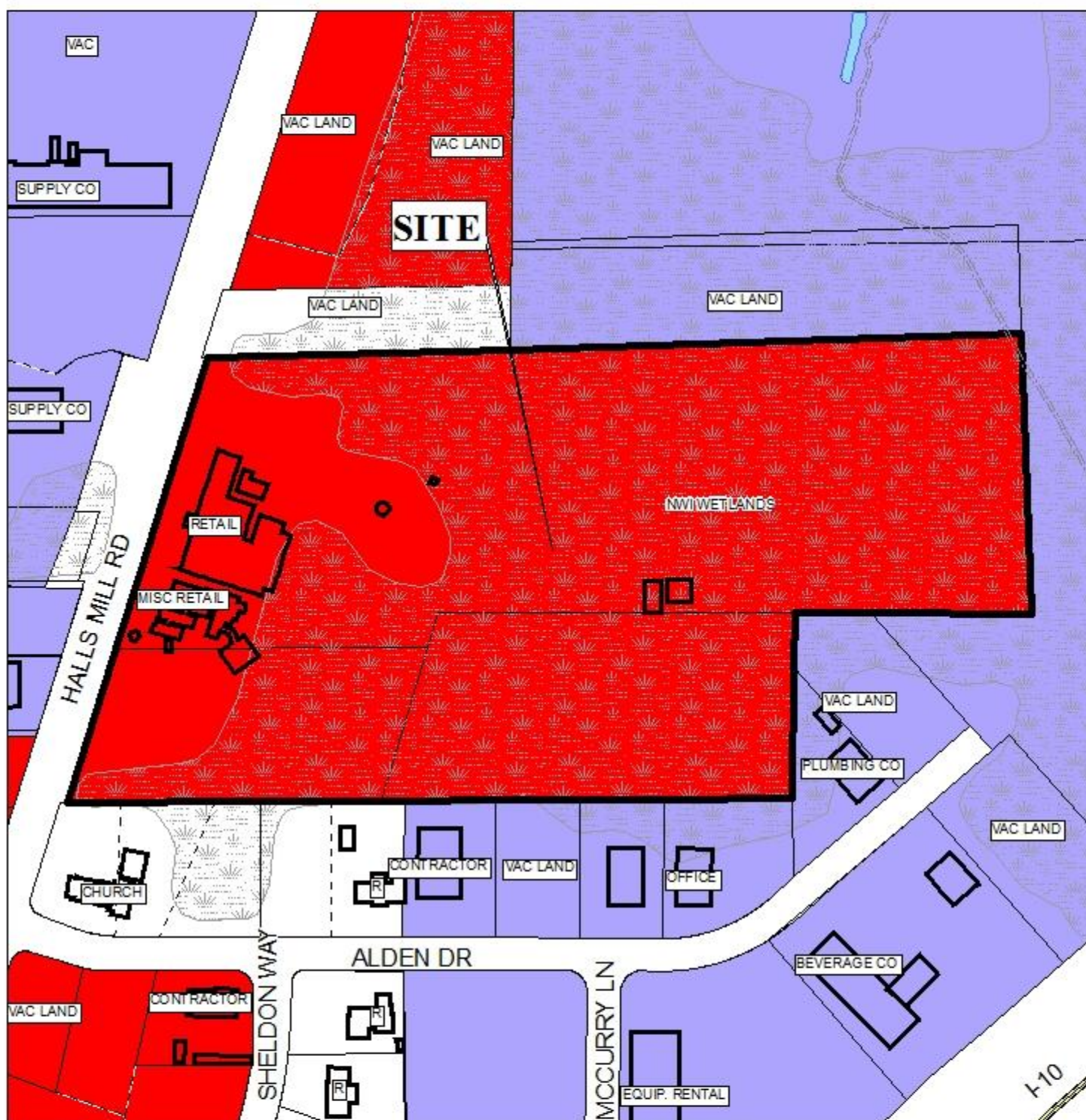
LOCATOR MAP



APPLICATION NUMBER 12 DATE August 6, 2015
APPLICANT Robert Moore Park Subdivision, Resubdivision of Lot 1
REQUEST Subdivision



ROBERT MOORE PARK SUBDIVISION, RESUBDIVISION OF LOT 1



APPLICATION NUMBER 12 DATE August 6, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



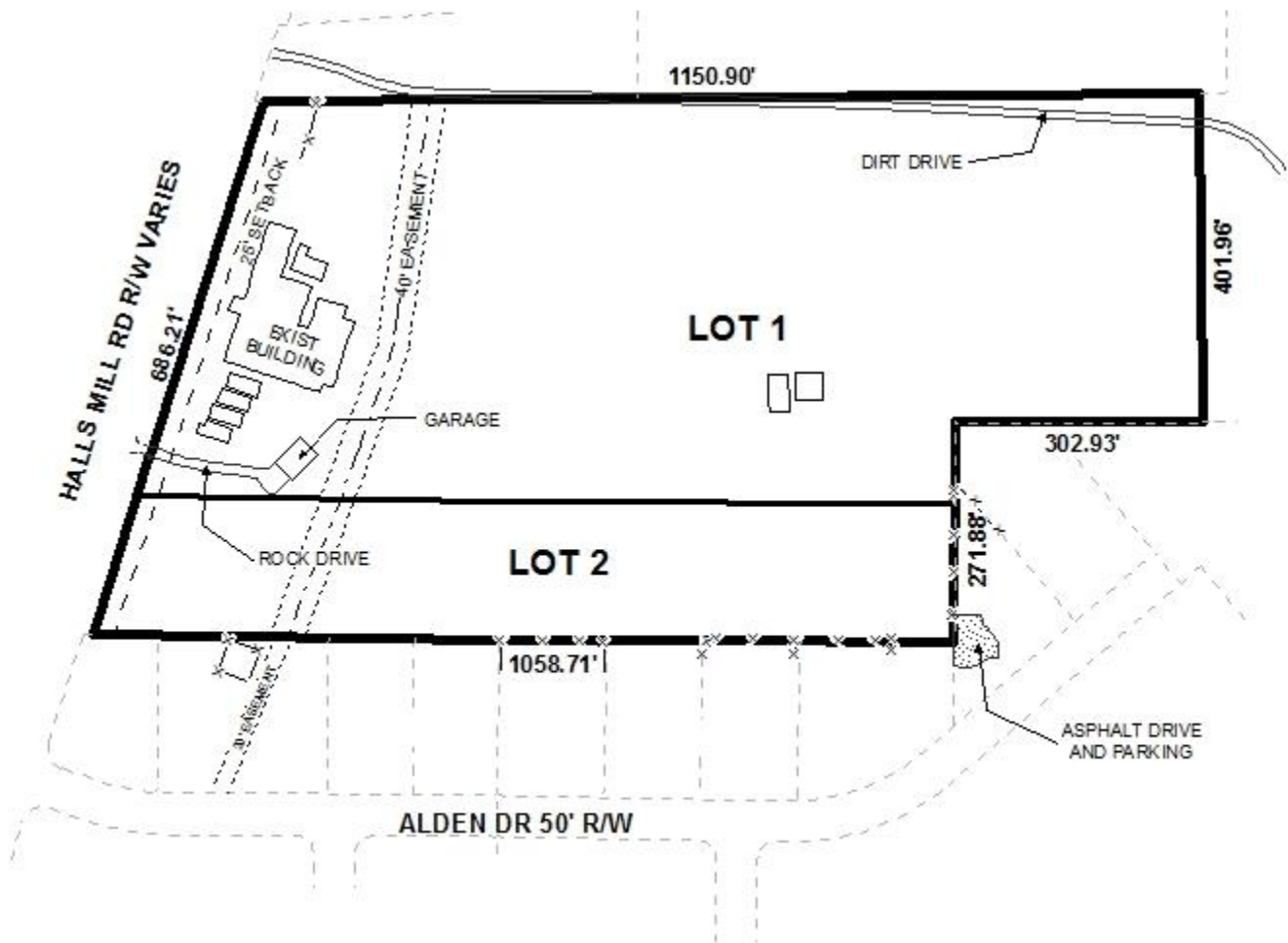
ROBERT MOORE PARK SUBDIVISION, RESUBDIVISION OF LOT 1



APPLICATION NUMBER 12 DATE August 6, 2015



DETAIL SITE PLAN



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APPLICANT Robert Moore Park Subdivision, Resubdivision of Lot 1
REQUEST Subdivision

