

DUNNWOOD SUBDIVISION, PHASES TWO-FOUR

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: No comments.

The plat illustrates the proposed 92-lot, 21.4± acre subdivision which is located on the South side of Silver Pine Road, 150'± East of Redpine Drive, extending to the East terminus of Stone Pine Drive West, in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create 92 legal lots of record from a single metes-and-bounds parcel. It should be noted that the site was included with the Silver Pines Subdivision which was approved at the Planning Commission's March 15, 2007 meeting that consisted of 153 lots. A one year extension was granted at the March 20, 2008 meeting of the Planning Commission, and 57 lots were recorded in Probate Court as Dunnwood Subdivision Phase 1 on March 26, 2008. The approval for the subsequent phases has since expired, thus the application at hand. The current proposal is depicted as Phase 2 having 29 lots, Phase 3 having 32 lots and 2 common areas, and Phase 4 having 31 lots and 1 common area. Due to Phase 1 being recorded with fewer lots than originally depicted, the overall development would consist of 149 lots instead of 153, if approved.

The application involves the creation of new streets, street stubs, and traffic calming devices, which should be constructed and dedicated to County Engineering standards prior to the signing of the Final Plat, if approved.

The site fronts onto Silver Pine Road (60' existing right-of-way), which was depicted as a major street on the Major Street Plan when the site came before the Planning Commission previously, and was recently removed from the Major Street Plan. Due to the previous status of Silver Pine Road being a major street, dedication was required to provide 50' from the centerline to accommodate future right-of-way. As Silver Pine Road has been removed from the Major Street Plan, dedication to provide 50' from the centerline is no longer required, however the preliminary plat submitted to staff depicts said dedication. While dedication is no longer a requirement, the applicant may wish to maintain it to keep the proposed lots in line with the existing lots fronting Silver Pine Road.

The currently proposed layout of the lots is similar to the layout originally approved, with the exception of the introduction of two traffic circles, and some changes to the total square footage of several lots. All lots meet the minimum square footage for new lots with public water and

sanitary sewer. If approved, the sizes of all lots and common areas should be provided in both square feet and acres.

The 25' minimum building setback line appears to be depicted along all frontages, but is not labeled as such. If approved, the minimum building setback line should be labeled. There is a water and sewer easement along the Eastern property line, as well as drainage easements along the West of Lots 64-72 and 121-126 and to the North of Lots 130-134. All easements should be labeled as such, with a note on the Final Plat stating that no structures are to be erected in any easements.

As the Subdivision contains Common Areas, a note should be required on the Final Plat stating that maintenance of all Common Areas is the responsibility of the property owners, and not Mobile County.

As a means of access management, all lots should be limited to one curb cut each, with Lots 58-63 and Lot 91 denied direct access to Silver Pine Road, if approved.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site is partially located within the J.B. Converse watershed, the primary drinking water supply for the Mobile Area Water and Sewer System. The Subdivision Regulations were amended in 2008 (Section V.A.5.) to at minimum match Mobile County standards for development within the watershed, thus the site must be designed so that no field lines or septic tanks are constructed or maintained within a "flood prone area" as designated by FEMA, or within a "Buffer Zone" as defined in Section II, Definitions. Furthermore, within the watershed, storm water detention facilities are required in any Subdivision. Detention areas must be designed to provide a minimum detention capacity to accommodate the volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate. A licensed Professional Engineer must certify, prior to the recording of the final plat, that the design of the Subdivision and its storm water detention features are designed in accord with these requirements. Any storm water detention facility must be shown in the plans and on the recorded subdivision plat as a common area not maintained by the City of Mobile, Mobile County or the State of Alabama.

All Subdivisions shall use "Best Management Practices" for water quality protection as identified in The Use of Best Management Practices (BMPs) in Urban Watersheds – EPA, per the requirements of Section V.A.5. of the Subdivision Regulations (amended September 18, 2008).

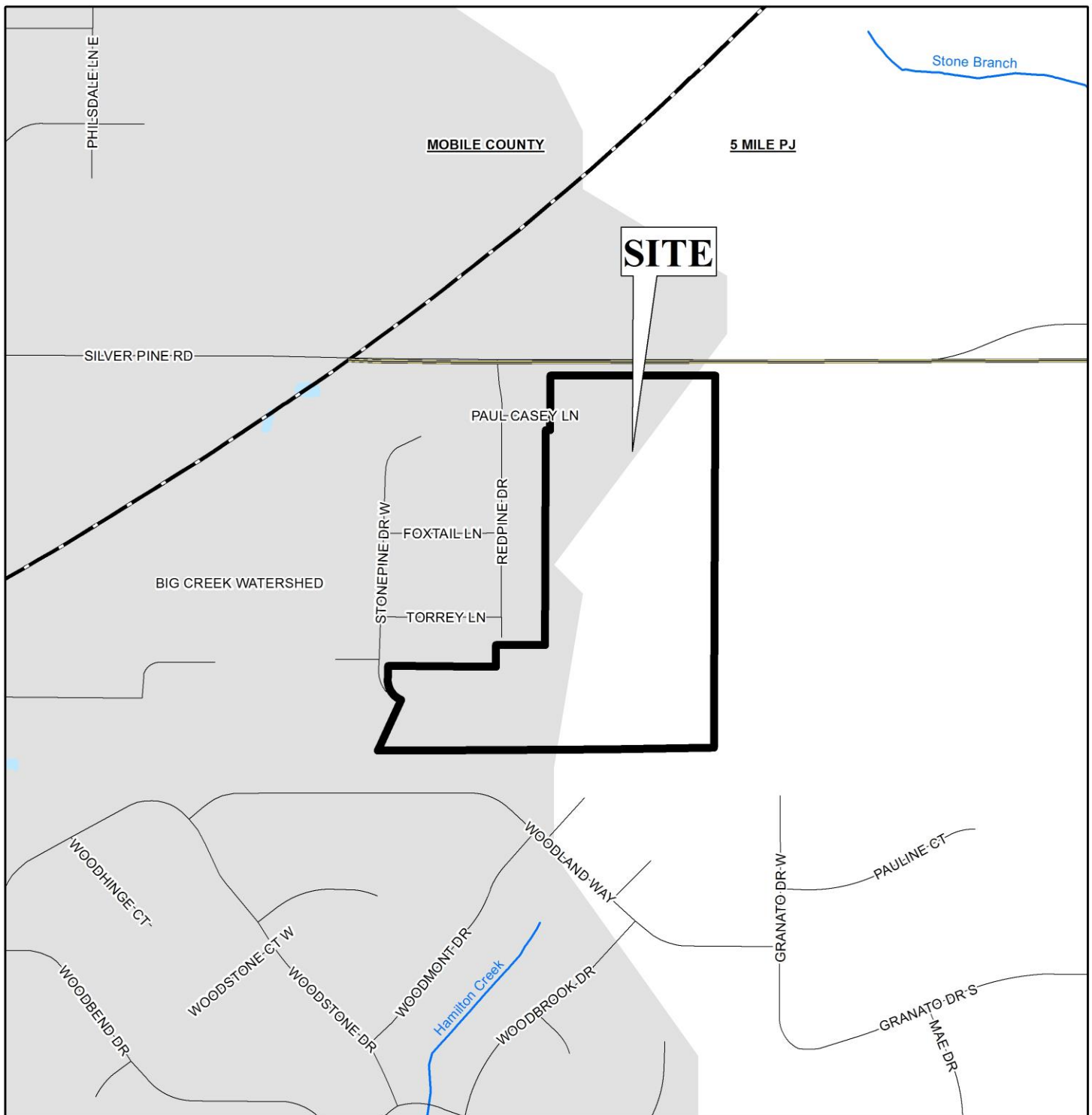
RECOMMENDATION

The plat meets the minimum requirements and is recommended for Tentative Approval, subject to the following conditions:

- 1) retention and labeling of the 25' minimum building setback line along all street frontages;

- 2) placement of a note on the Final Plat stating that Lots 58-63 and Lot 91 are denied direct access to Silver Pine Road;
- 3) placement of a note on the Final Plat stating that all lots and common areas are limited to one curb cut each, with the size, location and design to be approved by Mobile County Engineering;
- 4) revision of the plat to label the size of each lot and common area in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) depiction and labeling of all easements on the site;
- 6) placement of a note on the Final Plat stating that no structures may be constructed or placed within any easement;
- 7) placement of a note on the Final Plat stating that maintenance of all Common Areas is the responsibility of the property owners, and not Mobile County;
- 8) the provision of a County Letter of Acceptance for new street construction within the Subdivision prior to signing the Final Plat;
- 9) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 10) compliance with the Engineering comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 11) provision of a minimum detention capacity volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate, and the placement of a note on the Final Plat stating that the development has been designed to comply with all other storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, as well as the detention and release rate requirements of Mobile County for projects located within the Converse watershed, prior to the signing of the Final Plat. Certification is to be submitted to the Planning staff and County Engineering; and
- 12) compliance with the Fire-Rescue Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).]*

LOCATOR MAP



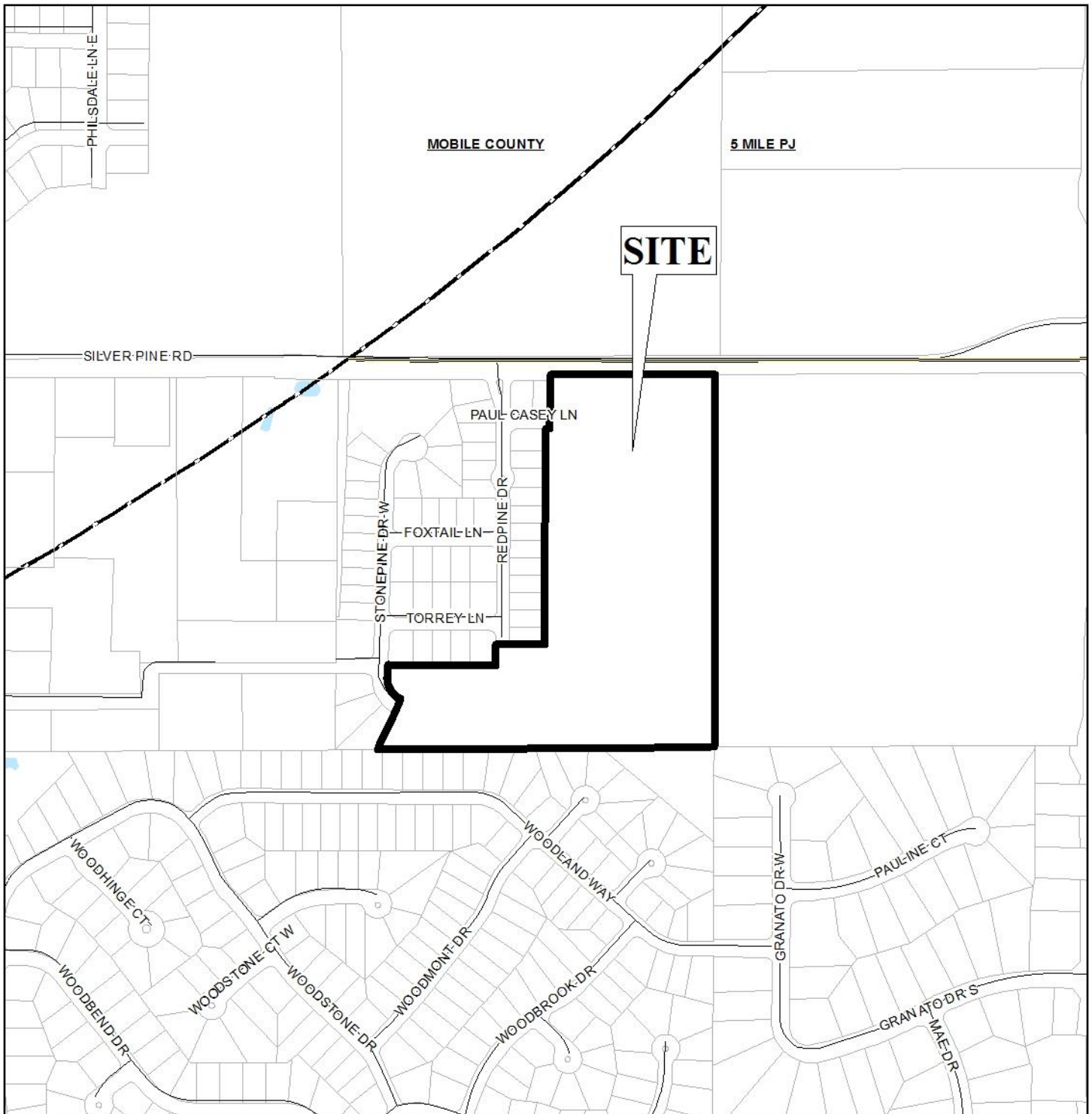
APPLICATION NUMBER 12 DATE April 19, 2018

APPLICANT Dunnwood Subdivision, Phases Two - Four

REQUEST Subdivision



LOCATOR ZONING MAP



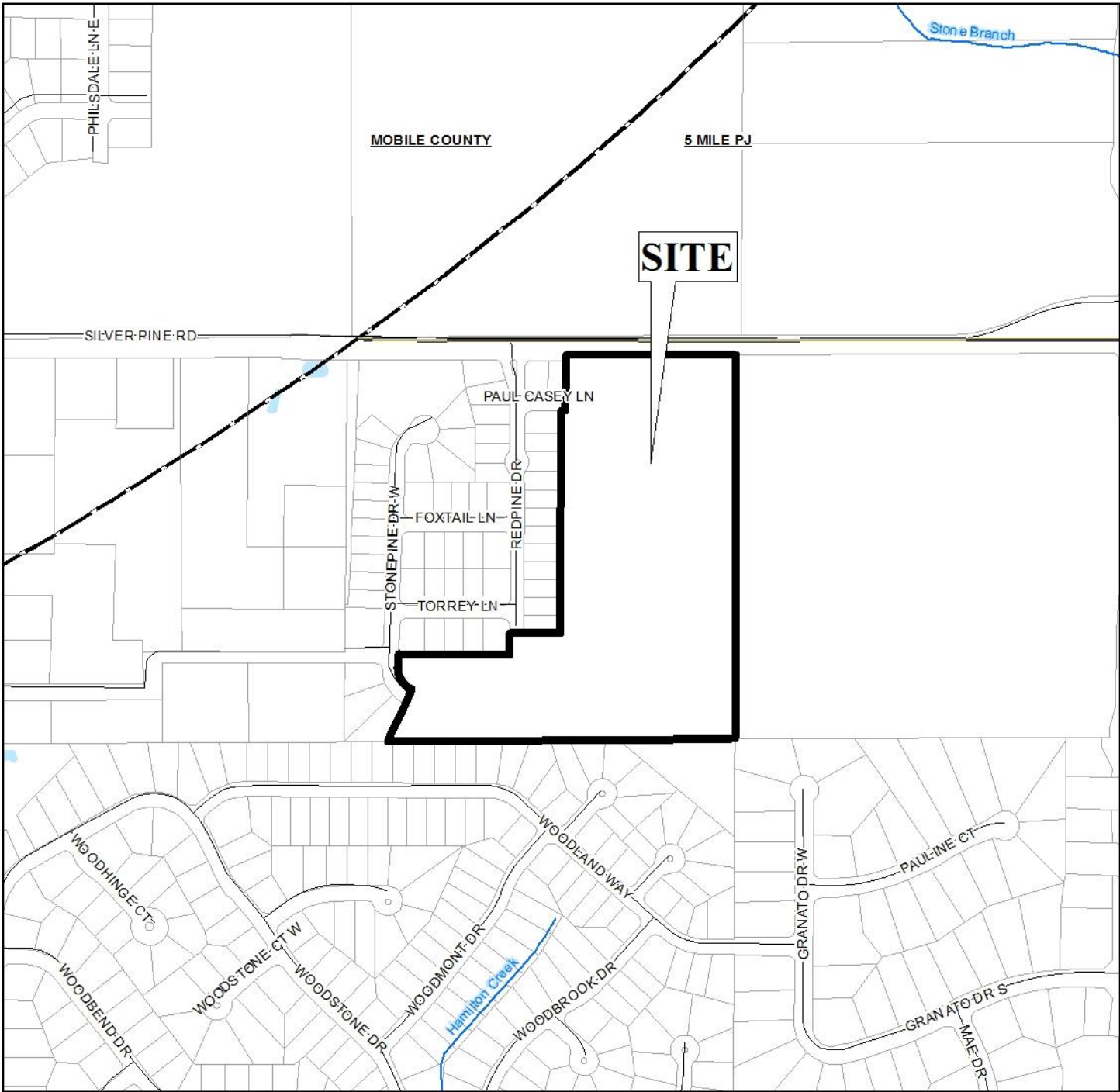
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FLUM LOCATOR MAP



APPLICATION NUMBER 12 DATE April 19, 2018

APPLICANT Dunnwood Subdivision, Phases Two - Four

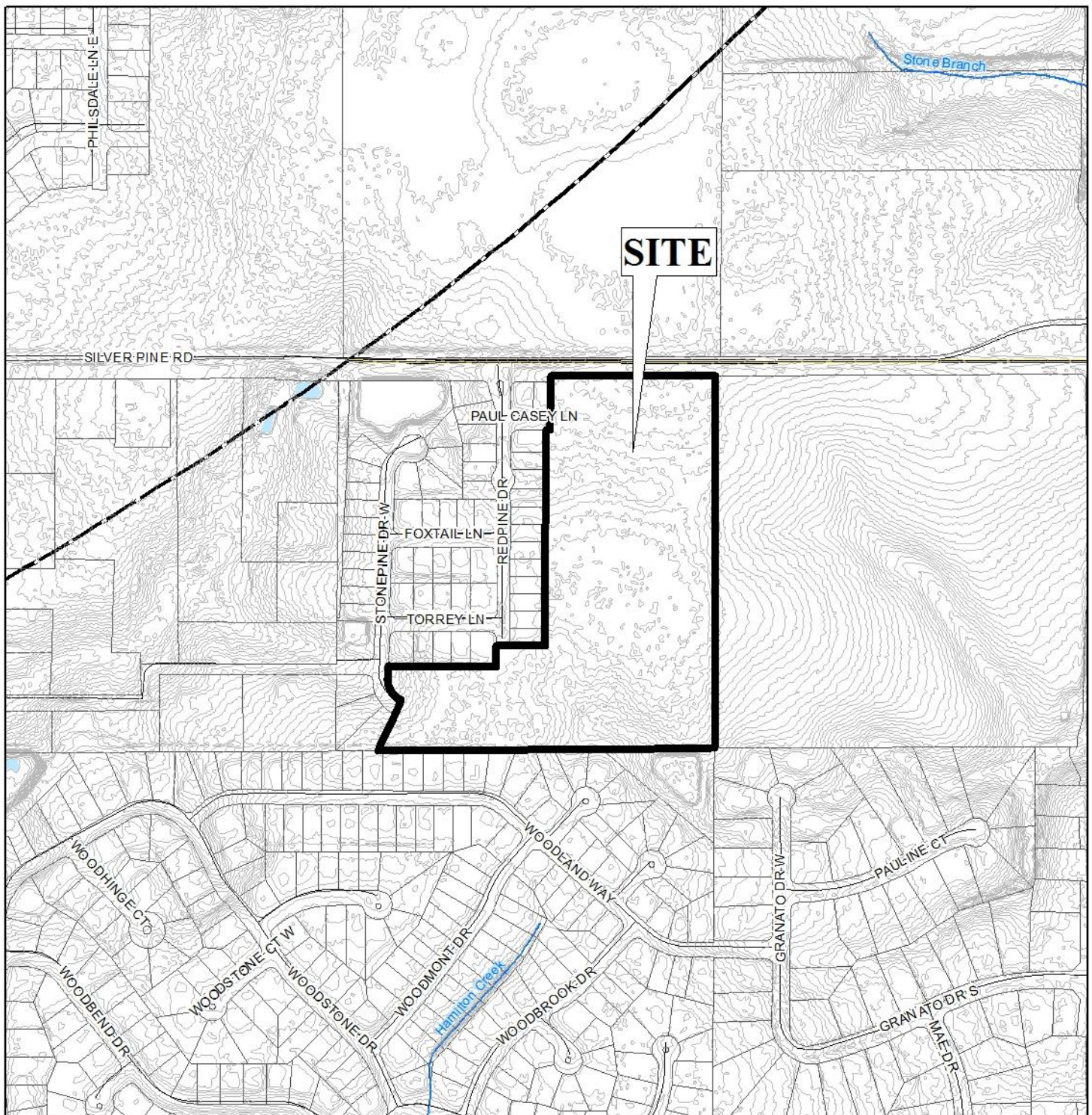
REQUEST _____ Subdivision _____

 Low Density Residential	 Neighborhood Center - Traditional	 Downtown Waterfront	 Parks & Open Space
 Mixed Density Residential	 Neighborhood Center - Suburban	 Light Industry	 Water Dependent
 Downtown	 Traditional Corridor	 Heavy Industry	
 District Center	 Mixed Commercial Corridor	 Institutional	



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ENVIRONMENTAL LOCATOR MAP



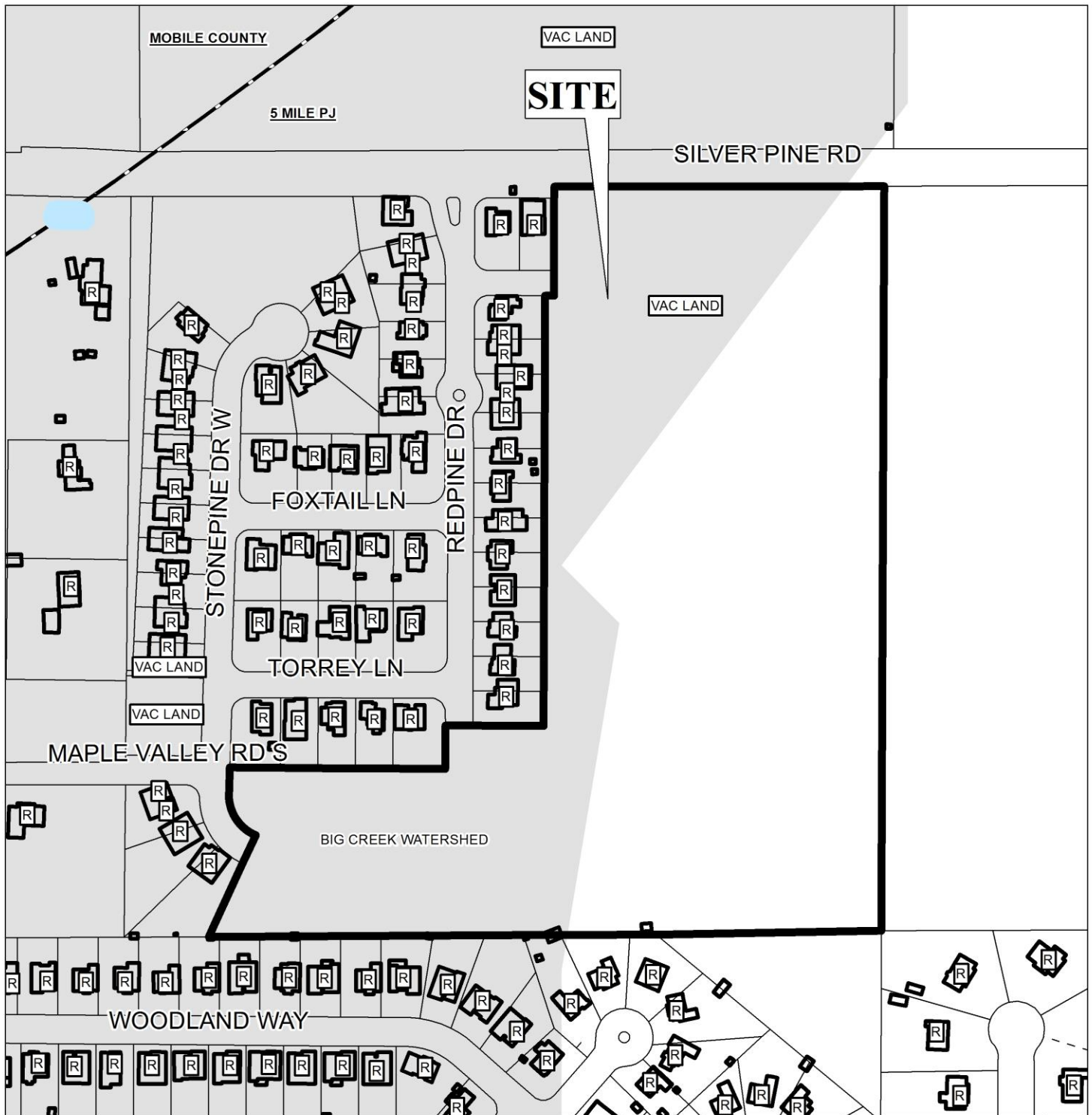
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APPLICANT Dunnwood Subdivision, Phases Two - Four

REQUEST Subdivision



DUNNWOOD SUBDIVISION, PHASES TWO - FOUR



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



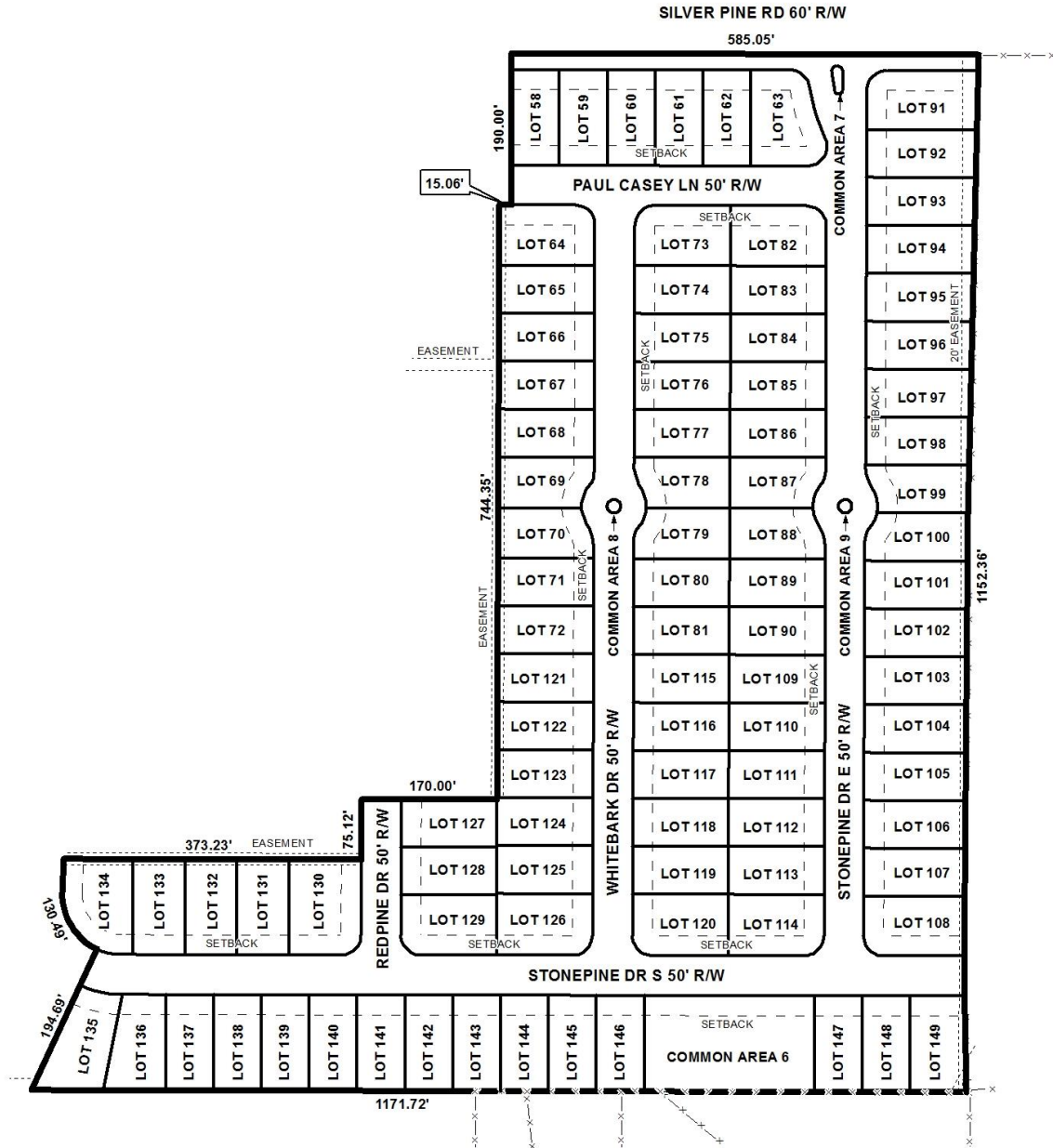
DUNNWOOD SUBDIVISION, PHASES TWO - FOUR



APPLICATION NUMBER 12 DATE April 19, 2018



DETAIL SITE PLAN



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APPLICANT Dunnwood Subdivision, Phases Two - Four

REQUEST Subdivision



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