

## **DEER RIVER COMMERCIAL PARK SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: No Comments

The plat illustrates the proposed 67.5± acre, 4 lot subdivision, which is located North side of Laurendine Road, 3/10 mile ± East of Rangeline Road – within the planning jurisdiction. The applicant states that the site is served by public water and individual septic tanks.

The purpose of this application is to re-subdivide a legal lot of record into four lots. However, the plat illustrates only three lots, with the remainder labeled as “future development,” which the applicant intends to re-subdivide in the future into 25 lots. After consulting with the applicant, the plat will now be revised to label this “future development” parcel as Lot 4, to which it will be referred for the duration of this review.

The site fronts Laurendine Road to the South with 80’ of right-of-way. This section of Laurendine Road is not included in the Major Street Plan; thus, it is compliant with the minor street right-of-way requirement. No dedication is required.

As proposed, Lots 1, 2, 3 and 4 have approximately 380’ 290’ 170’ and 200’ of frontage along Laurendine Road. As a means of access management, a note should be placed on the final plat stating that Lots 1 and 2 are limited to two curb cuts each, while Lots 3 and 4 are limited to one curb cut each to Laurendine Road, with the sizes, locations, and designs to be approved by County Engineering and in conformance with AASHTO standards.

The applicant has also illustrated a 15’ buffer setback, on Lot 1, from the Eastern property. It should be noted, however, should the lot be developed commercially, this setback alone will not satisfy the buffer requirement of Section V.A.8 of the Subdivision Regulations, which requires a *“buffer consisting of landscaping, a six-foot wooden privacy fence, or when necessary due to negative impacts a combination thereof, is required.”*

Wetlands exist on the site. The presence of wetlands indicates that the site may be environmentally sensitive; therefore, the approval of all applicable federal, state, and local environmental agencies will be required prior to the issuance of any permits.

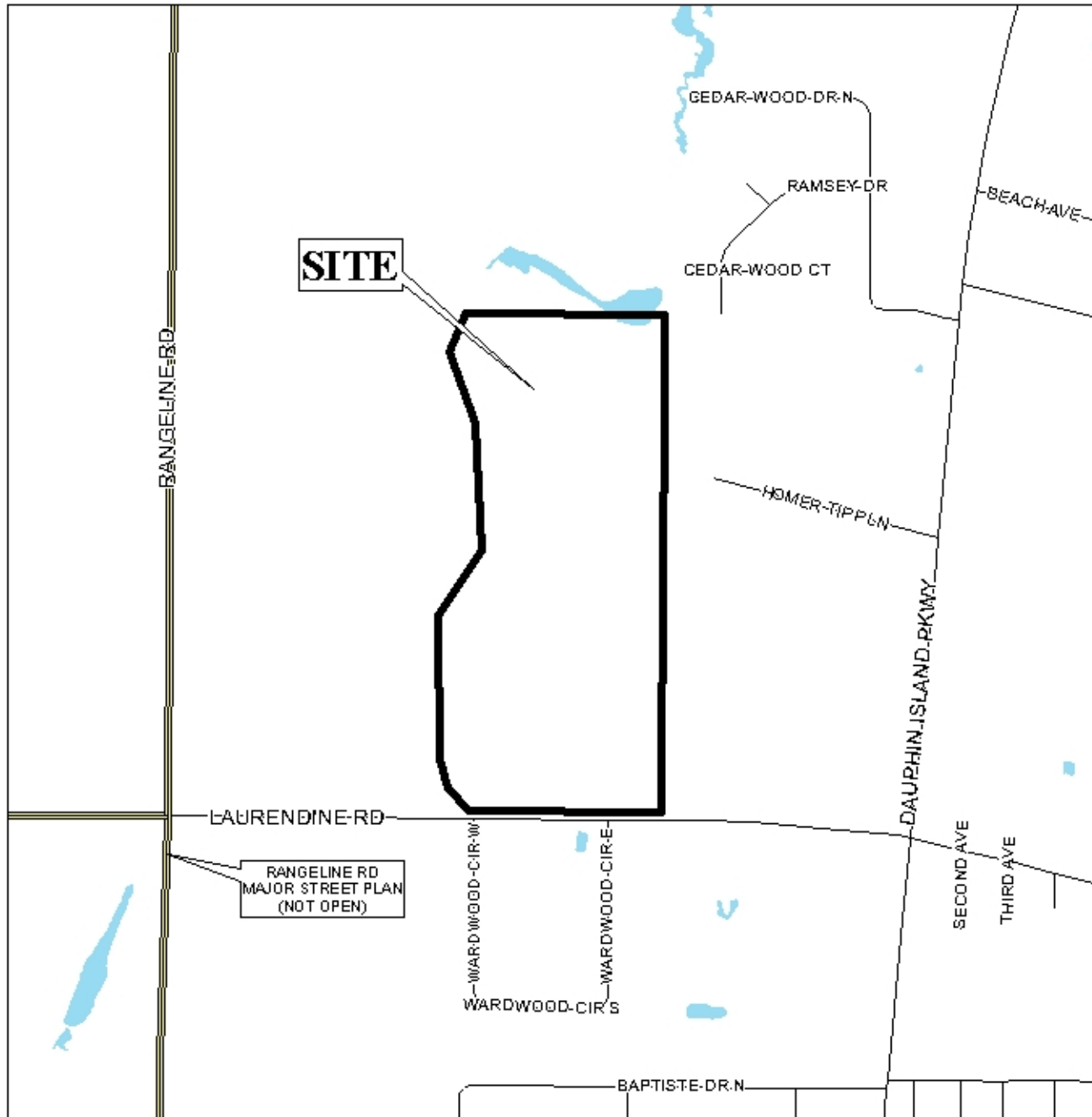
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to label the "future development" parcel as Lot 4;
- 2) placement of a note on the final plat stating that Lots 1 and 2 are limited to two curb cuts each, while Lots 3 and 4 are limited to one curb cut each to Laurendine Road, with the sizes, locations, and designs to be approved by County Engineering and in conformance with AASHTO standards;
- 3) the applicant receive the approval of all applicable federal, state, and local environmental agencies will be required prior to the issuance of any permits or land disturbance activity;
- 4) placement of a note on the final plat stating that the site must be developed in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species;
- 5) retention of the note on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations; and
- 6) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

## LOCATOR MAP



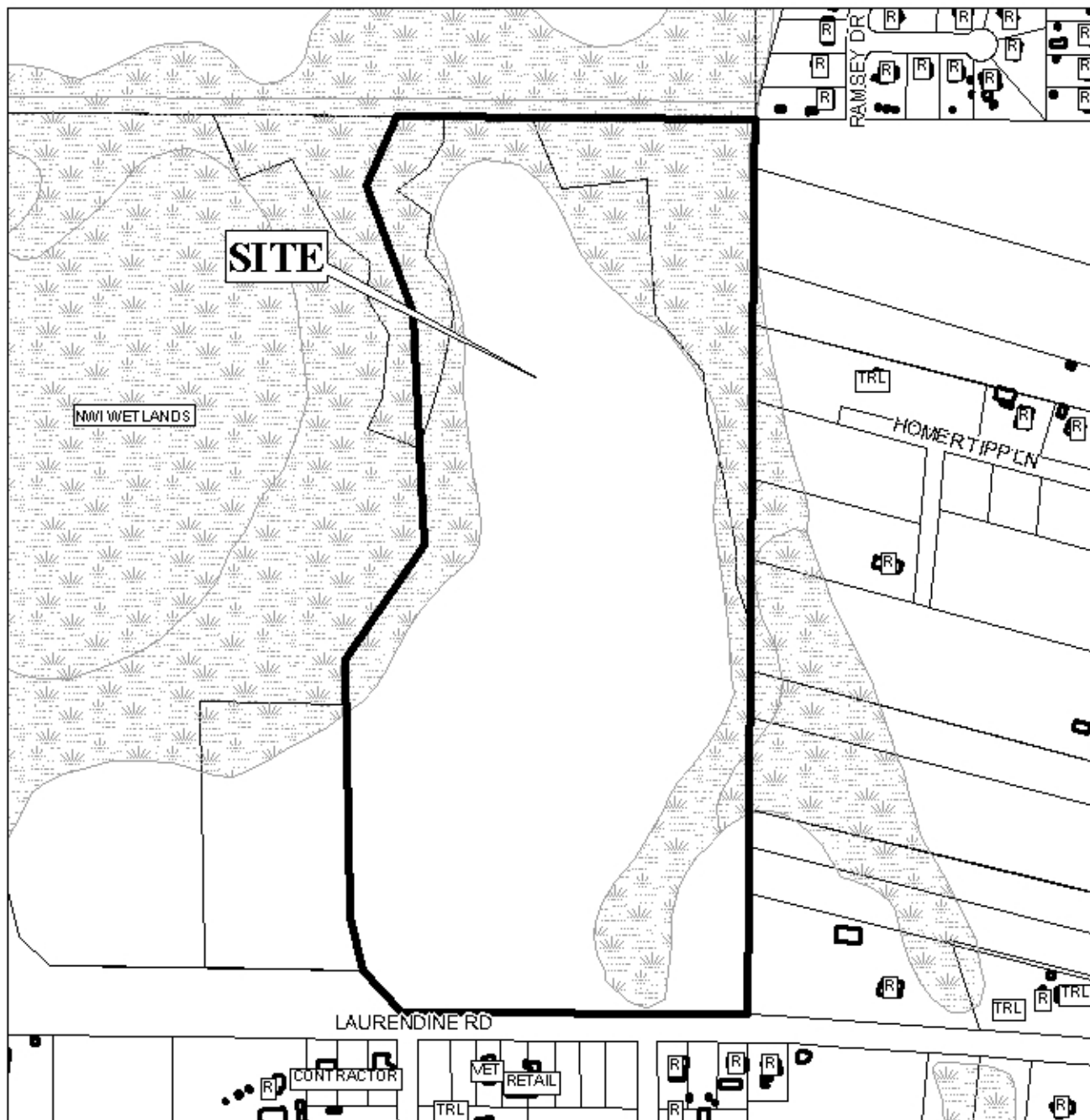
APPLICATION NUMBER 12 DATE June 18, 2009

APPLICANT Deer River Commercial Park Subdivision

REQUEST Subdivision

N  
NTS

# DEER RIVER COMMERCIAL PARK SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-4	R-5	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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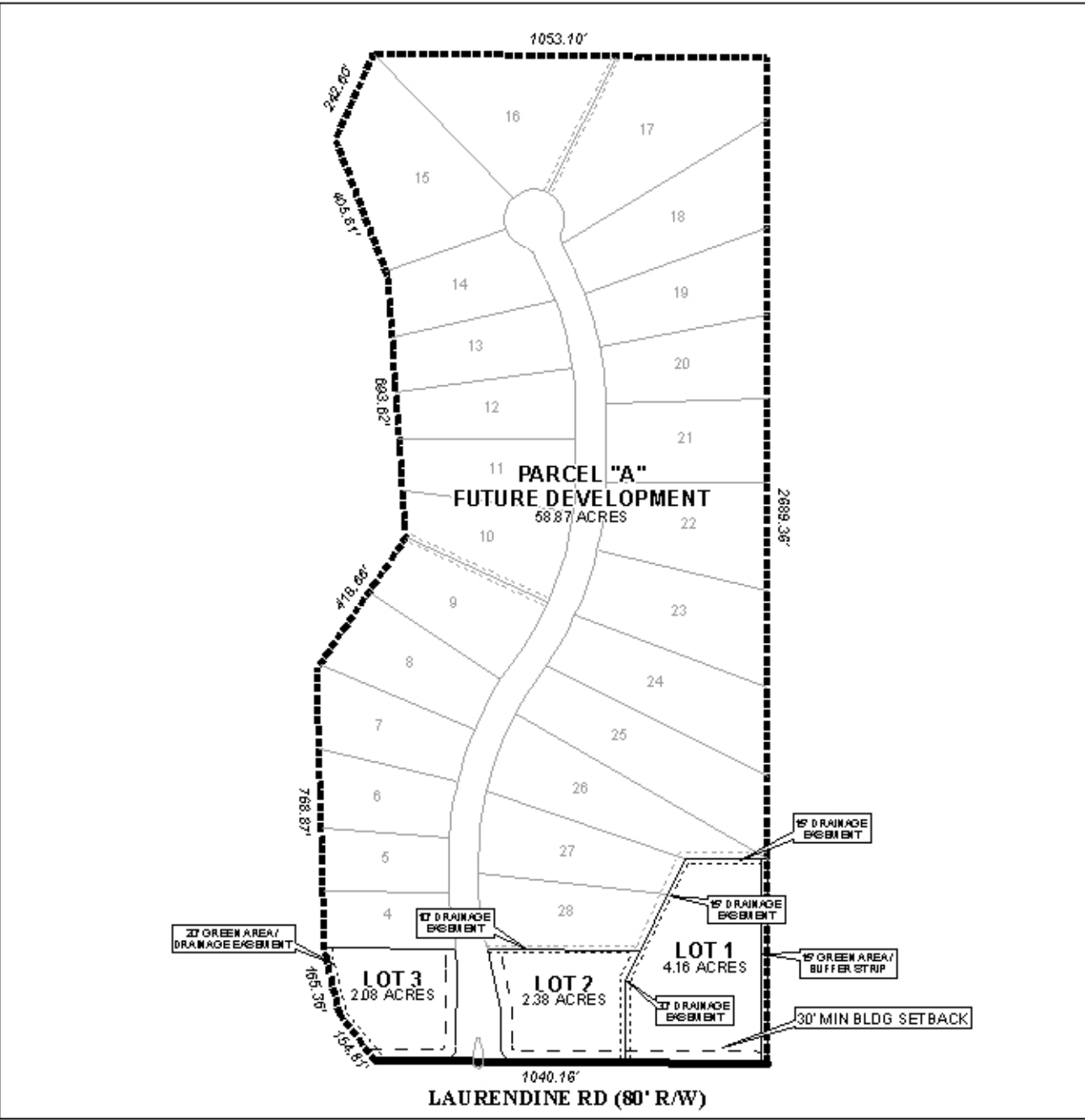




## An aerial photograph showing a large, irregularly shaped wooded property outlined in yellow. The property is situated between Cedar Wood Ct to the north, Laurendine Rd to the south, and Homer Tipp Ln to the east. The surrounding area includes residential developments and a body of water.

N  
NTS

**DETAIL SITE PLAN**



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