

CMF SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No water or sewer services available.

The plat illustrates the proposed 2-lot, 19.3 acre \pm subdivision which is located at 5851 & 5873 McDonald Road (East side of McDonald Road, 1,250' \pm South of Holloway Drive North). The applicant states that the subdivision is served by public water, well, and individual septic systems.

The purpose of this application is to modify an interior lot line between two metes and bounds parcels. The lot line is proposed to shift so that the shared driveway and curb cut is evenly split and to provide an equal land swap between the two proposed lots.

Both of the proposed lots meet the minimum size and frontage requirements as regulated by Section V.D.2. of the Subdivision Regulations. The proposed Lot 1 does not comply with Section V.D.3. of the Subdivision Regulations regarding the maximum width to depth ratio; however, given that the parcel is existing and that the non-conformity will only be marginally increased, and that there are several other lots in the immediate area which exceed the maximum width to depth ratio, a waiver of Section V.D.3. may be appropriate.

The 25-foot minimum building setback line is depicted on the preliminary plat, and this should be retained on the Final Plat, if approved. The lot area sizes are depicted in acres and square feet, and this should also be retained on the Final Plat, if approved.

The proposed lots front McDonald Road, a planned major street as shown on the Major Street Plan Component of the Comprehensive Plan. The Plan requires a 100-foot right-of-way for McDonald Road in this area. The plat depicts the existing right-of-way as 80 feet. As such, dedication sufficient to provide 50 feet from the centerline of McDonald Road should be required.

Because McDonald Road is a planned major street, access management is a concern. As stated previously, each lot will have one existing shared curb cut to McDonald Road, should this application be approved. As such, each lot should be limited to the shared existing curb cut, with the size, design, and location of all curb cuts to be approved by County Engineering and conform to AASHTO standards.

The site is in Mobile County, however, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

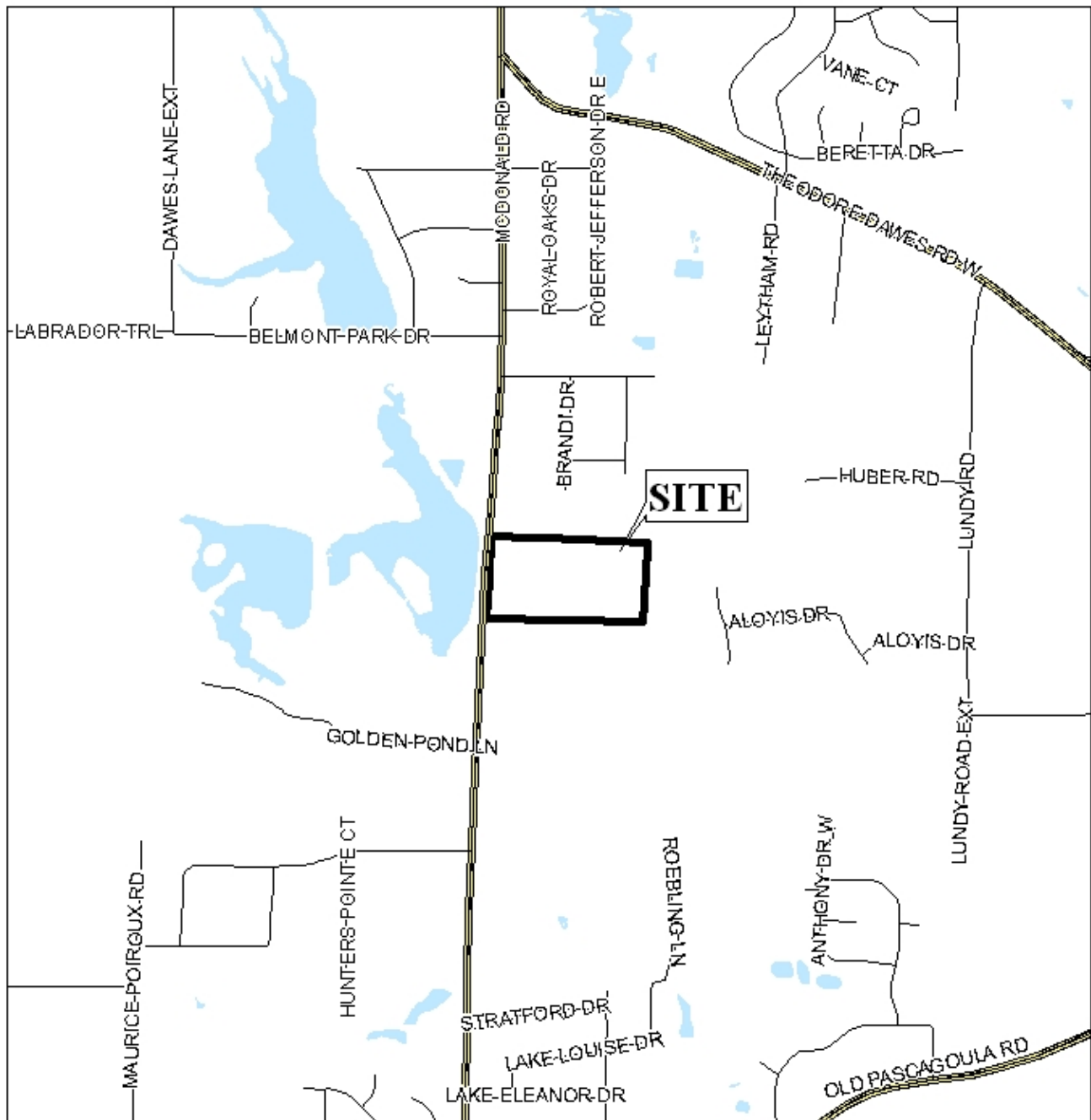
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

Based on the preceding, and with a waiver of Section V.D.3. of the Subdivision Regulations regarding maximum width to depth ratio, this application is recommended for tentative approval subject to the following conditions:

- 1) dedication sufficient to provide 50 feet from the centerline of McDonald Road;
- 2) placement of a note on the Final Plat stating that each lot is limited to the existing shared curb-cut each to McDonald Road with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) retention of the 25-foot minimum building setback line and lot area sizes, in square feet, as shown on the preliminary plat;
- 4) placement of a note on the Final Plat stating that: *“Development must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) placement of a note on the Final Plat stating that development on the site must be undertaken with the approval of all applicable federal, state and local agencies for floodplain and wetland issues prior to the issuance of any permits or land disturbance activities; and
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

LOCATOR MAP



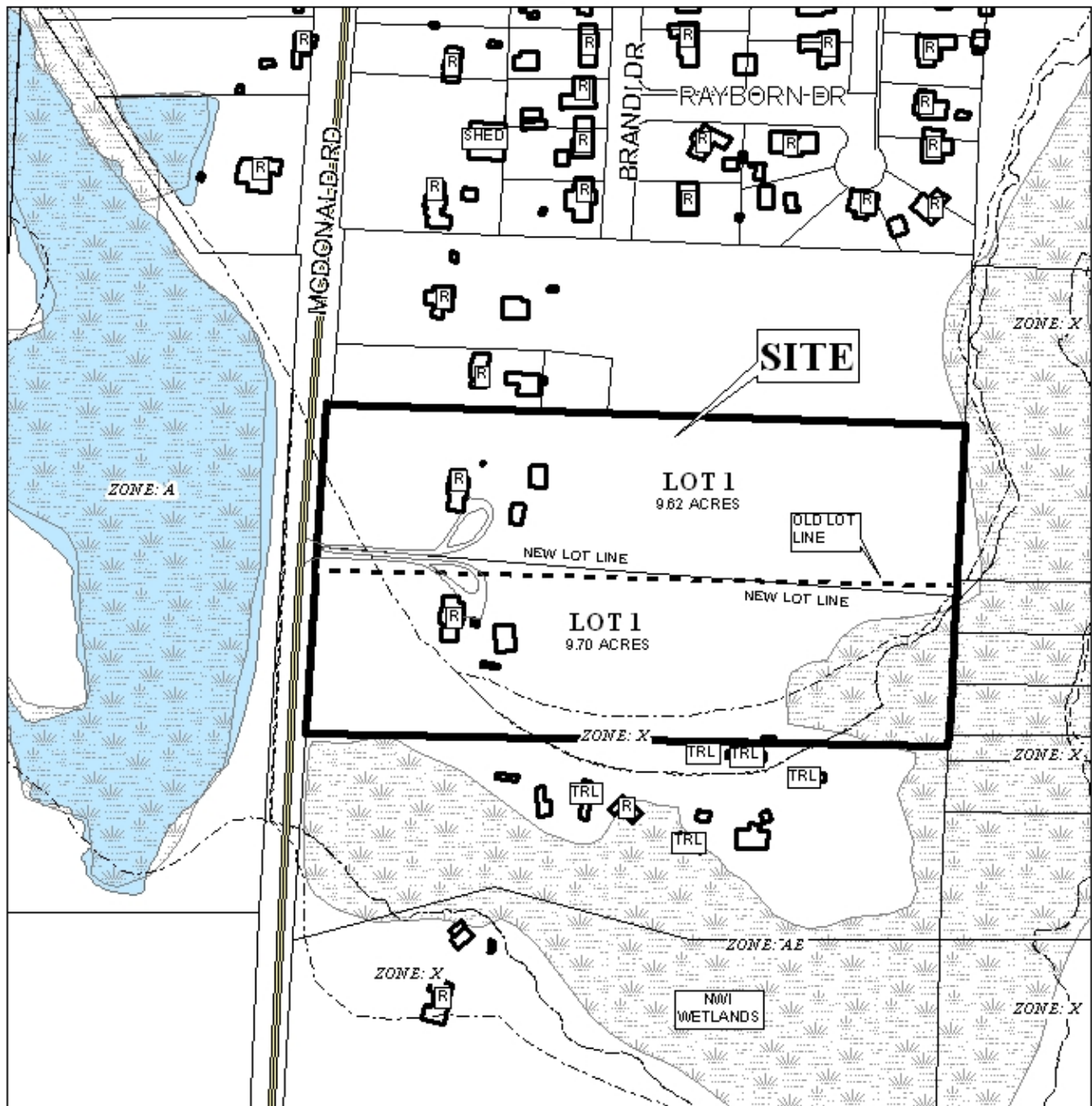
APPLICATION NUMBER 12 DATE September 1, 2011

APPLICANT CMF Subdivision

REQUEST Subdivision



CMF SUBDIVISION



APPLICATION NUMBER 12 DATE September 1, 2011

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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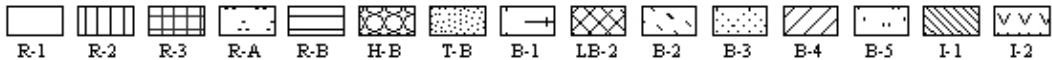
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CMF SUBDIVISION



APPLICATION NUMBER 12 DATE September 1, 2011

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