

## **BROAD-ELMIRA SUBDIVISION**

Engineering Comments: Show Minimum FFE on each lot shown on plat. Fill is not allowed without providing compensation or completing a flood study. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer. It appears that Lot 3, Block 134, Bernoundy Tract needs to be included with subdivision.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Due to existing trees located on right of way along Broad Street, all new curb cuts along Broad Street shall be coordinated with Urban Forestry.

Fire Department Comments: All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G as adopted by the City Of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C and D of the 2003 International Fire Code as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 1 Lot / 0.9± acre subdivision which is located at the Northwest corner of Broad Street and Elmira Street, and is in Council District 2. The applicant states that the site is served by public water and sanitary sewer.

The purpose of the application is to create one legal lot of record from a portion of a metes and bounds parcel. A similar application (but for two lots) was approved by the Planning Commission at its July 19, 2007 meeting, however, the approval has expired and conditions have changed since the original proposal.

The parcel including the site extends West to Marine Street. The 2007 application included information establishing the frontage onto Marine Street as a separate lot, however the same information was not supplied with the application at hand.

At the time of the 2007 application the site in question was outside of the Oakleigh Garden Historic District, however, the boundaries of the district have been expanded since the original approval, thus the entire site is now within the district. Any improvements to the site will require review and approval by the Architectural Review Board and the Mobile Historic Development Commission.

Also since the previous approval, Broad Street has been improved to include a landscaped median, new street tree plantings, repaired sidewalks and ornamental street lights. The improvements to Broad Street are part of the City's "Bring Back Broad" initiative, a federally-

funded project designed to improve the public realm of the street in order to encourage compatible, positive development and redevelopment along the corridor.

The proposed 42,841  $\pm$  square foot lot has approximately 240 feet of frontage along Broad Street and approximately 183 feet of frontage along Elmira Street. Broad Street is a proposed major street with adequate right-of-way, while Elmira Street is a minor street with adequate right-of-way. The plat depicts dedication of the corner radius, as required by Section V.D.6. of the Subdivision Regulations.

Due to the fact that the site is commercially zoned, has frontage on a minor street serving primarily residential uses, is within a historic district, and fronts a major street with a median that is lined with newly planted heritage trees as well as significant existing heritage trees, access management is a concern. The 2007 approval granted the site two curb-cuts onto Broad Street and one curb-cut onto Elmira Street. No information was provided with the application to justify curb-cuts for the site, though staff is aware that there is an intention to place a convenience store with gas pumps on this site. Due to the changing conditions, it is recommended that the proposed lot be limited to one curb-cut onto Broad Street and one curb-cut onto Elmira Street. The size, design and location of curb-cuts are to be approved by Traffic Engineering and Urban Forestry, and are to comply to the greatest extent possible with AASHTO standards.

The preliminary plat depicts a 25-foot minimum building setback from Broad Street and a 20-foot minimum building setback from Elmira Street. A reduced setback on Elmira is possible with a waiver of Section V.D.9. of the Subdivision Regulations if the development on the lot fronts onto Broad Street, however, no information was provided to indicate the development frontage. Reduced street-front and street-side setbacks are, however, typical for both commercial and residential structures within the older parts of Mobile, including within the Oakleigh Historic District and along Broad Street.

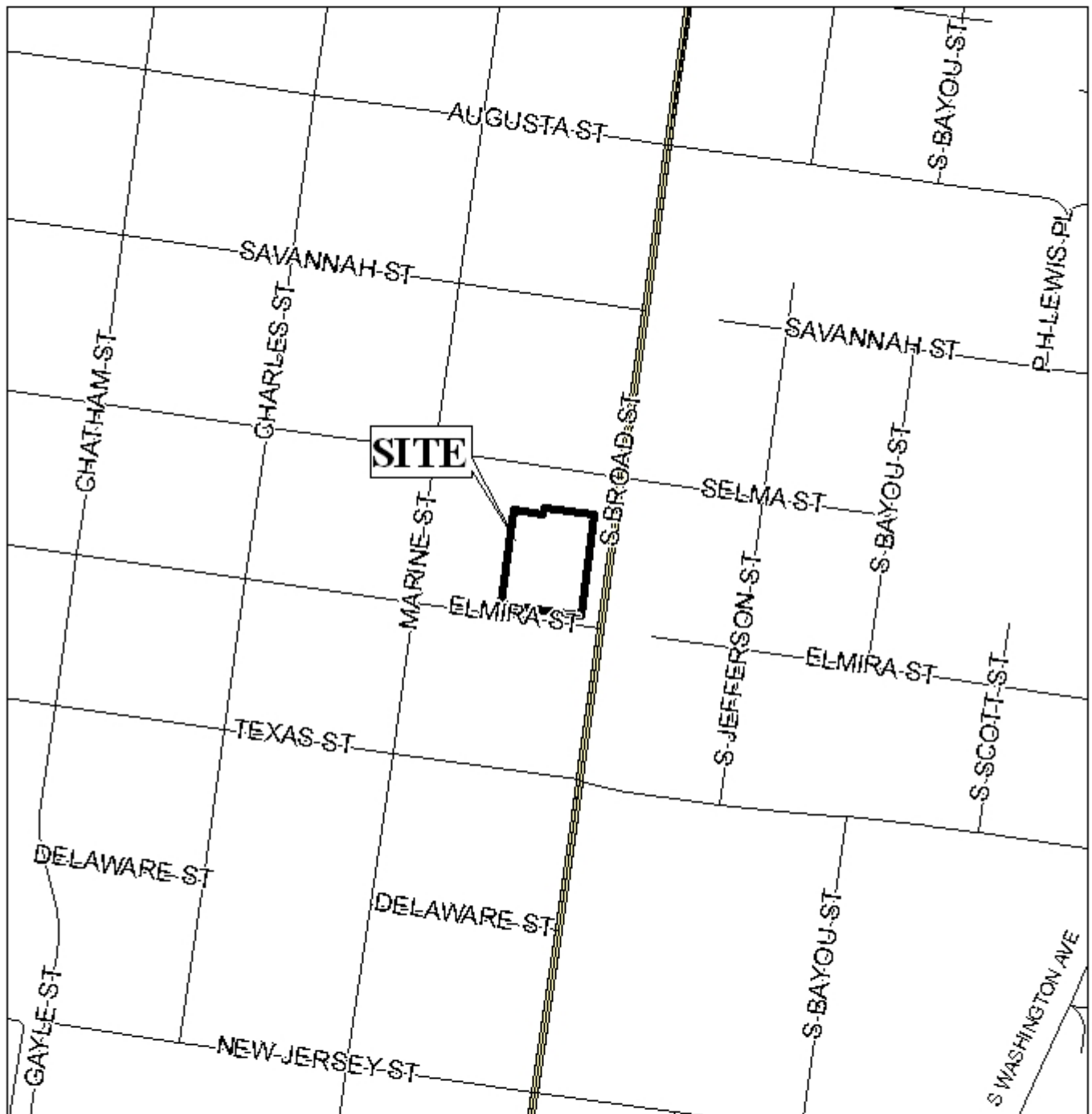
Finally, the proposed lot abuts existing residential development to the West and North. Compliance with the buffering requirements of Section V.A.8. of the Subdivision Regulations will be required if the site is commercially developed. Staff recommends that a 10-foot wide buffer area be depicted on the plat where the site abuts properties to the West and North.

Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Provision of evidence that the remainder of the parcel is an existing legal lot prior to the signing of the final plat, or reapplication for Subdivision approval, including the entirety of the parcel;
- 2) Placement of a note on the final plat stating that the lot is limited to one curb-cut onto Broad Street and one curb-cut onto Elmira Street, with the size, design and location of curb-cuts to be approved by Traffic Engineering and Urban Forestry, and to comply to the greatest extent possible with AASHTO standards;
- 3) Provision of the corner radius, as depicted on the preliminary plat;
- 4) Depiction and labeling of a 25-foot minimum building setback along all street frontages;
- 5) Depiction of the minimum finished floor elevation on the final plat;

- 6) Full compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)*);
- 7) Compliance with Section V.A.8. of the Subdivision Regulations, and depiction of a 10-foot buffer area along the West and North boundaries of the lot; and
- 8) Full compliance with all storm water and flood control ordinances.

# LOCATOR MAP



APPLICATION NUMBER 12 DATE July 16, 2009  
APPLICANT Broad-Elmira Subdivision  
REQUEST Subdivision



# BROAD- ELMIRA SUBDIVISION



APPLICATION NUMBER 12 DATE July 16, 2009

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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APPLICATION NUMBER 12 DATE July 16, 2009

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