

**PLANNING APPROVAL
STAFF REPORT****Date: September 5, 2019**

<u>NAME</u>	McKemie Place, Inc.
<u>LOCATION</u>	618 Azalea Road (South side of Azalea Road, 715'± West of Village Green Drive).
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>PRESENT ZONING</u>	B-1, Buffer Business District
<u>AREA OF PROPERTY</u>	1.95± Acre
<u>CONTEMPLATED USE</u>	Planning Approval to allow the operation of an emergency shelter for women in a B-1, Buffer Business District.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not provided.
<u>ENGINEERING COMMENTS</u>	No comments.
<u>TRAFFIC ENGINEERING COMMENTS</u>	No comments.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.
<u>FIRE DEPARTMENT COMMENTS</u>	All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).
<u>REMARKS</u>	The applicant is requesting Planning Approval to allow the operation of an emergency shelter for women in a B-1, Buffer Business District.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and

provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors and Low Density Residential is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The applicant states:

*"McKemie Place Mission:
"Where healing begins and hope is given."*

The New McKemie Place:

The Building located at 618 Azalea Road will serve as McKemie Place, a 24 hour emergency homeless shelter for unaccompanied women in the Mobile, Baldwin, and Washington Counties area. The Board has approved the following Operational Guidelines at the 618 Azalea Road:

Operations:

- *24 Hour Emergency Shelter operating 365 days a year.*

- 60 beds
- Provide three meals a day by our volunteer network, warm shower, bed, case management, life sustainability classes, and access to partner agencies

Guest Guidelines:

1 day : Emergency Period: When a guest enters our facility, she has to meet with our case manager within 1 day for evaluation.

1 week: Emergency/Assessment Period: Case manager will evaluate guest needs. The Guest will be allowed to enter into a life skill sustainability program.

6 months: Life skills and Sustainability Period: Guest will be given life training and programing in hope to find permanent housing within 6 months. The Executive Director and Operations

Operation and Building Narrative:

The Building located at 618 Azalea Road will allow McKemie to further deliver our mission of creating hope and value within our guests. McKemie Place will have 8 operating showers, large bathrooms, a closed off courtyard, 6 laundry stations, a dining room, separate guest rooms, board room, class rooms, case management meeting rooms, a "recovery" room (for guests recovering from surgery and/or medical procedures), staff break room, computer lab, and living/gathering room. McKemie will substantially improve our life skills and sustainability training with available and dedicated space in the same location. Security for our guest will be improved with a new security system and single sign-in location. Life skill training classes will be given daily inclusive of: Job Training and interview training, GED Classes, Mental Health classes, therapy classes and case management, etc."

The submitted site plan illustrates the 7,625 square foot one story brick building and 18 parking spaces, connected by a drive extending to Azalea Road. Planning Approvals are site plan and scope of operations specific; therefore, it should be noted that any changes to the approved site plan or number of beds will require an amended Planning Approval. If approved, a note should be placed on the site plan stating this requirement. The subject site abuts B-1, Buffer Business Districts to the North, South, and East and R-3 Multi-Family Residential to the West. Therefore, a six foot high privacy fence should be provided along the Western property line.

The applicant is proposing to have 60 beds at this location, which will require a minimum of 15 parking spaces. The submitted site plan illustrates 18 parking spaces available.

It should be noted that the most recent use of the site was an office; therefore, there will be various building, plumbing, electrical, fire, etc. code requirements that will need to be met.

RECOMMENDATION

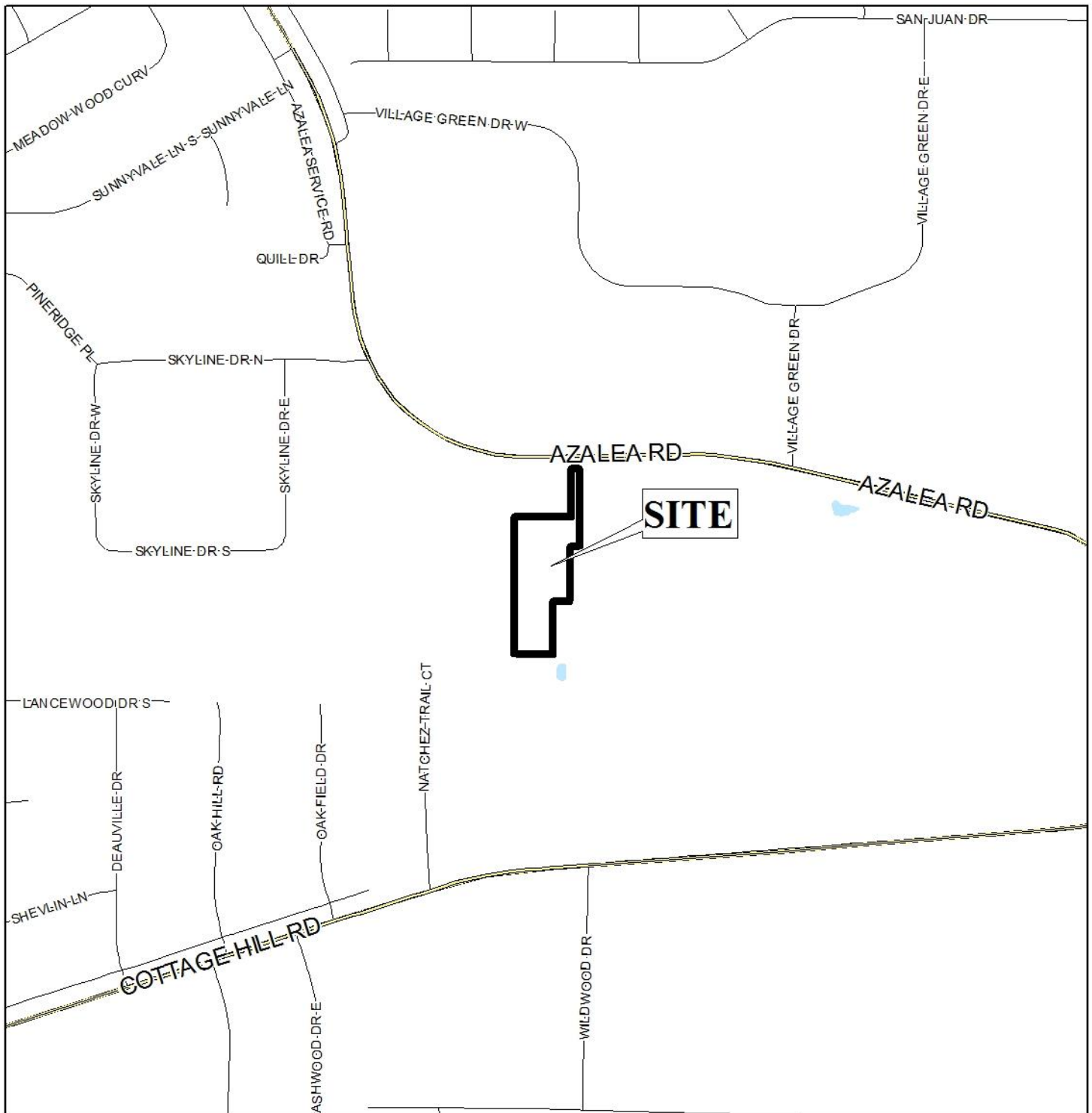
Planning Approval: Based upon the preceding, staff recommends to the Planning Commission the following findings of facts for Approval of the Planning Approval:

- a) the proposal will be appropriate with regard to transportation and access, water supply, waste disposal, fire and police protection, and other public facilities, because it should have no impact on any of those items due to the fact that no new structure is proposed in which persons will live or work;
- b) the proposal will not cause undue traffic congestion or create a traffic hazard; and
- c) the proposal will be in harmony with the orderly and appropriate development of the district in which the use is located, because the facility would have no negative impact on the current and allowed uses within the area.

The Approval is subject to the following conditions:

- 1) placement of a note on the site plan stating that any changes to the site plan or scope of operations will require a new Planning Approval;
- 2) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.*); and
- 3) compliance with Fire Department comments and placement of a note (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*

LOCATOR MAP



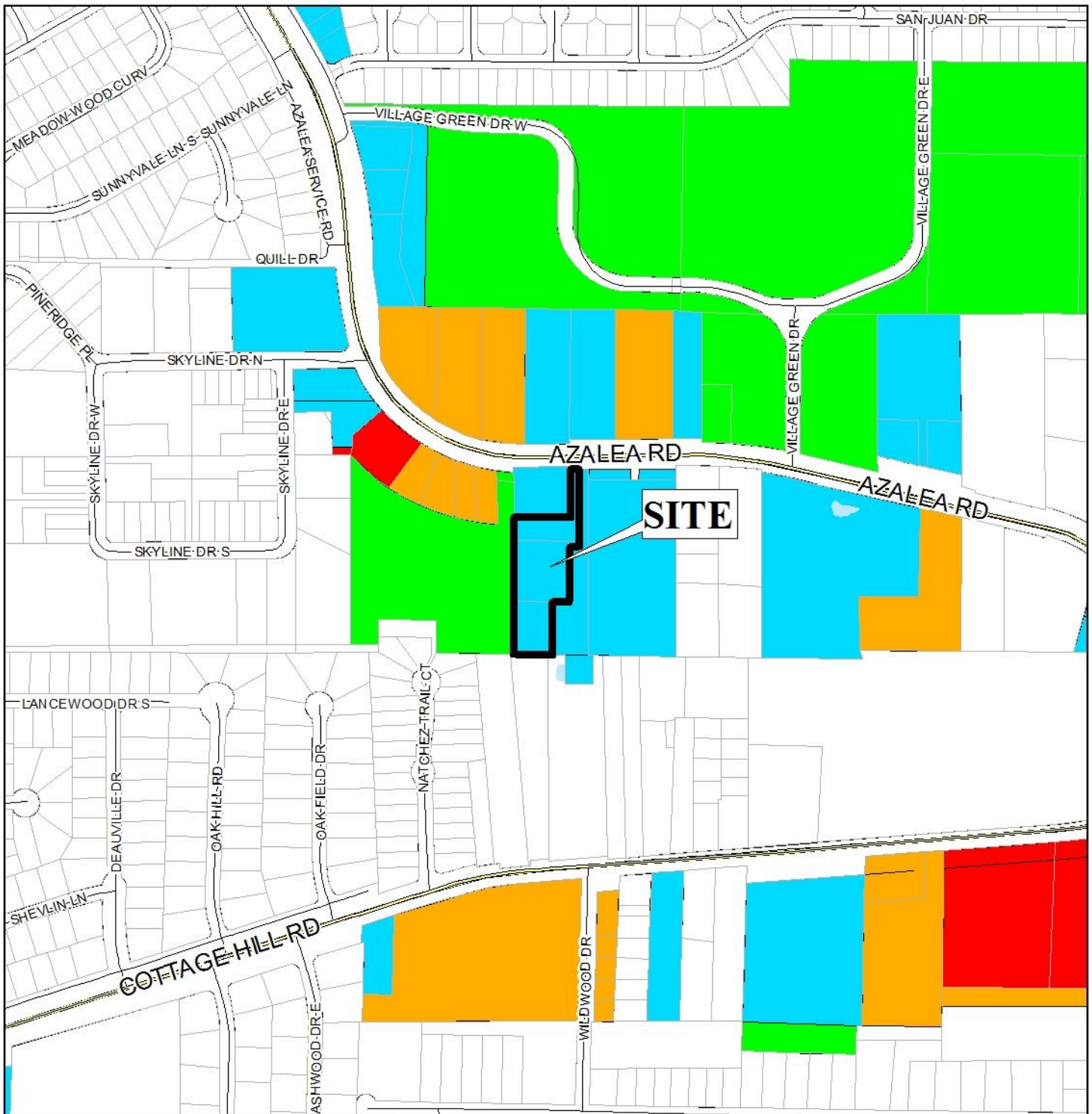
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APPLICANT McKemie Place, Inc

REQUEST Planning Approval



LOCATOR ZONING MAP



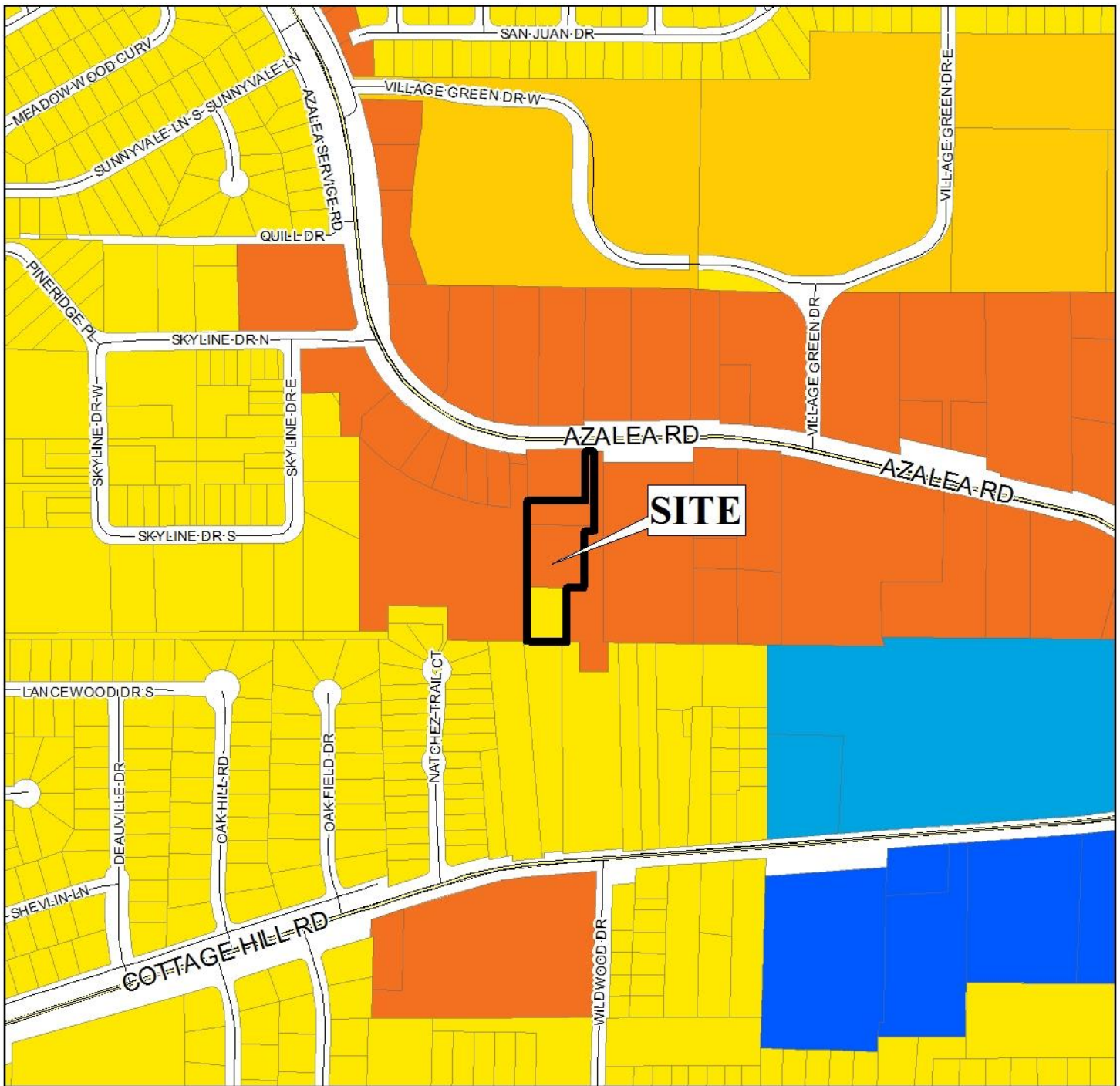
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FLUM LOCATOR MAP



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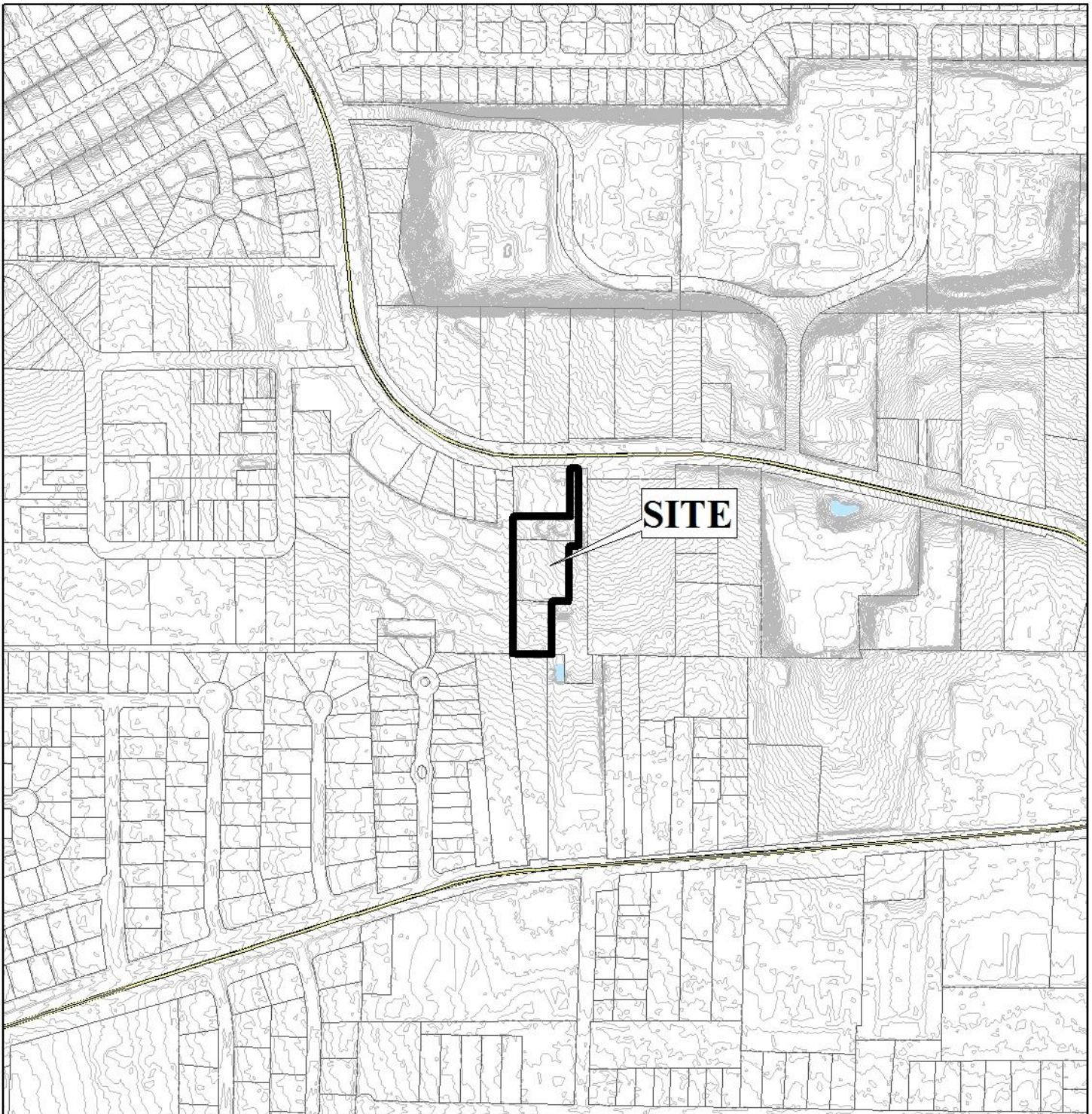
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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

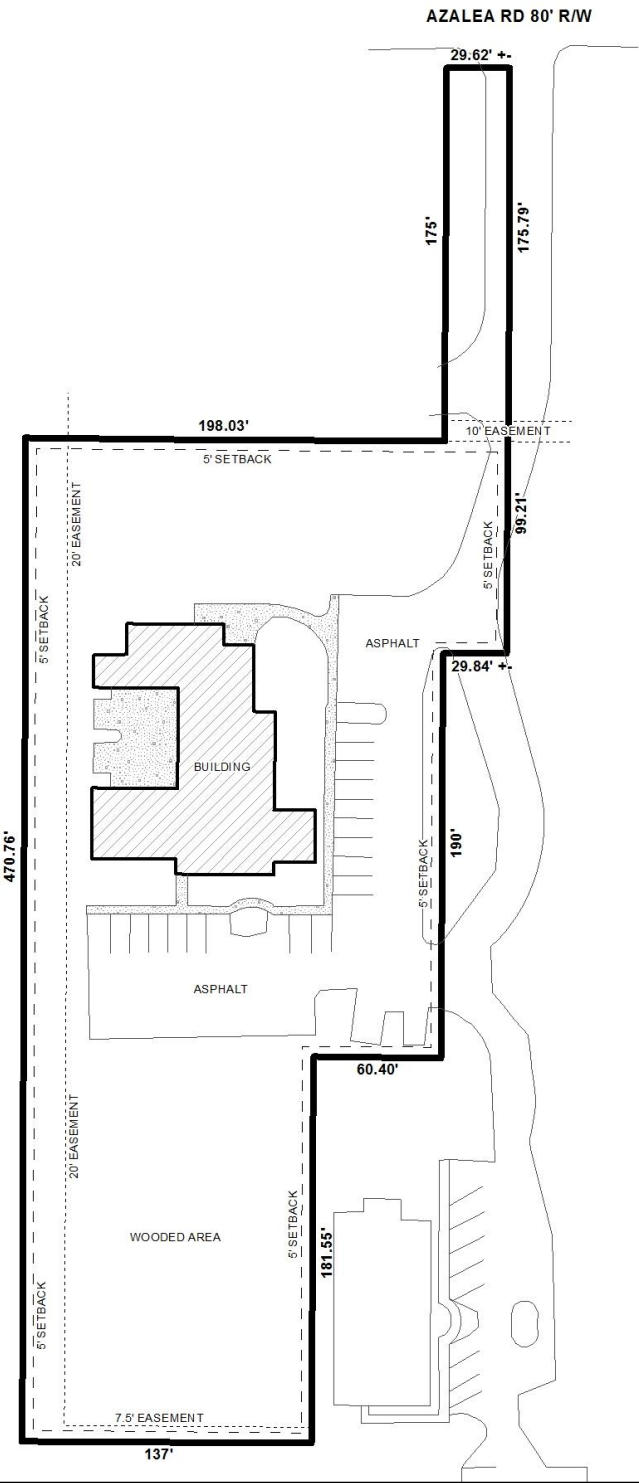


The site is surrounded by residential and commercial units.

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SITE PLAN



The site plan illustrates the existing building, setbacks and easements.

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