

## **FURR STREET PARTNERS SUBDIVISION**

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- C. Provide the Surveyor's Certificate.
- D. Provide the Surveyor's and Owner's (notarized) signatures.
- E. As shown on the 1984 aerial photo (FLIGHT 24 - #74) LOT A will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Applicant will need to coordinate with the City Engineering Permitting Department staff to establish the exact amount that each Lot will receive prior to the submittal of the Final Plat from review and signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- J. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- K. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing.
- L. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.

Traffic Engineering Comments: Lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

The preliminary plat illustrates the proposed 1-lot, 0.4± acre subdivision which is located on the East side of Furr Street, 185'± North of Old Shell Road, within Council District 1. The applicant states that the proposed lot will be serviced by public water and sewer systems. The purpose of this application is to create one (1) legal lot of record from two (2) existing legal lots of record.

The site has been given a Mixed Density Residential (MxDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies mostly to residential areas located between Downtown and the Beltline, where the predominant character is that of a traditional neighborhood laid out on an urban street grid.

These residential areas should offer a mix of single-family homes, townhouses, 2- to 4- residential unit buildings, accessory dwellings, and low- and mid-rise multifamily apartment buildings. The density varies between 6 and 10 dwelling units per acre, depending on the mix, types, and locations of the housing as specified by zoning.

Like Low Density Residential areas, Mixed Density Residential areas may incorporate compatibly scaled and sited complementary uses such as neighborhood retail and office uses, schools, playgrounds and parks, and churches and other amenities that create a complete neighborhood fabric and provide safe and convenient access to daily necessities.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the

minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant states the following:

*The owner needs to combine these two lots in a recorded subdivision into one legal lot of record for future development.*

The applicant was granted a Parking and Maneuvering Surface Variance for the subject site by the Board of Zoning Adjustment at its August 3, 2020 meeting. One of the conditions of approval was completion of a one-lot subdivision to combine the two subject lots into one legal lot of record prior to the issuance of permits, hence the subject application.

The proposed lot fronts Furr Street, a minor street with curb and gutter. The right-of-way width of Furr Street is not indicated on the preliminary plat. Therefore, the plat should be revised to provide the right-of-way width of Furr Street on the Final Plat, and if less than 50', dedication should be required to provide 25' from the centerline of Furr Street.

The preliminary plat provides the size of the proposed lot in both square feet and acres. This should be retained on the Final Plat, adjusted for any required frontage dedication, or a table should be furnished on the Final Plat providing the same information.

The preliminary plat does not indicate a front minimum building setback line. Therefore, the plat should be revised to indicate a front minimum building setback line as measured from the current right-of-way line, or adjusted to be measured from any required frontage dedication.

As per the Traffic Engineering comments, the lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. A note containing the Traffic Engineering comments should be placed on the Final Plat.

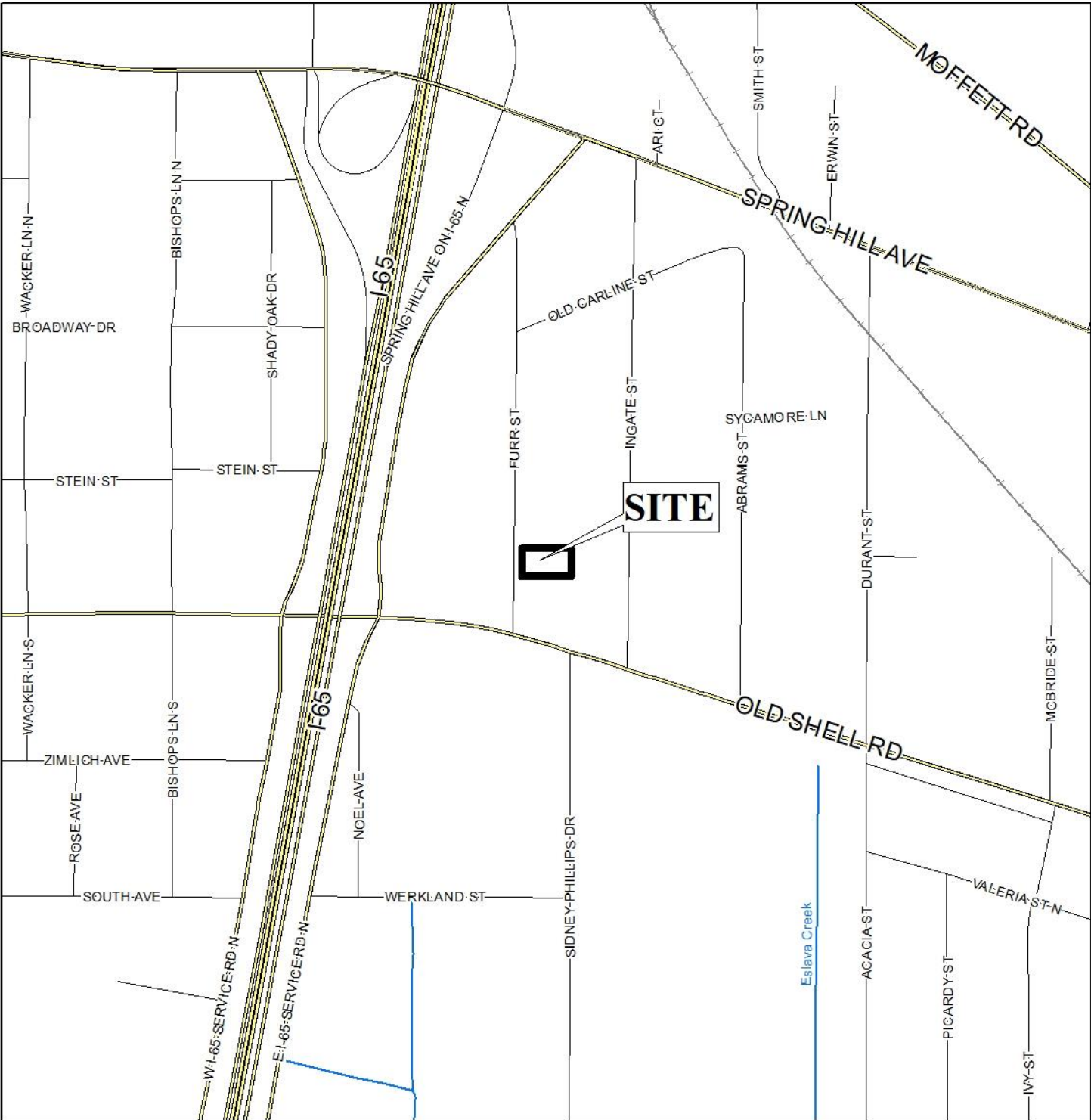
The site is currently vacant. It is important to note that development of the site will be required to fully comply with current zoning standards.

Based upon the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to provide the right-of-way width of Furr Street on the Final Plat, and if less than 50', dedication to provide 25' from the centerline of Furr Street;
- 2) retention of the lot size label in both square feet and acres on the Final Plat, adjusted for any required frontage dedication, or the furnishing of a table on the Final Plat providing the same information;
- 3) revision of the plat to indicate a front minimum building setback line as measured from the current right-of-way line, or adjusted to be measured from any required frontage dedication;

- 4) compliance with the Engineering comments: (FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. C. Provide the Surveyor's Certificate. D. Provide the Surveyor's and Owner's (notarized) signatures. E. As shown on the 1984 aerial photo (FLIGHT 24 - #74) LOT A will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Applicant will need to coordinate with the City Engineering Permitting Department staff to establish the exact amount that each Lot will receive prior to the submittal of the Final Plat from review and signatures. F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. I. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. J. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. K. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing. L. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.);
- 5) placement of a note on the Final Plat stating the Traffic Engineering comments: (Lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, should meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.)
- 6) compliance with the Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.); and
- 7) compliance with the Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code)).

# LOCATOR MAP



APPLICATION NUMBER 12 DATE October 1, 2020

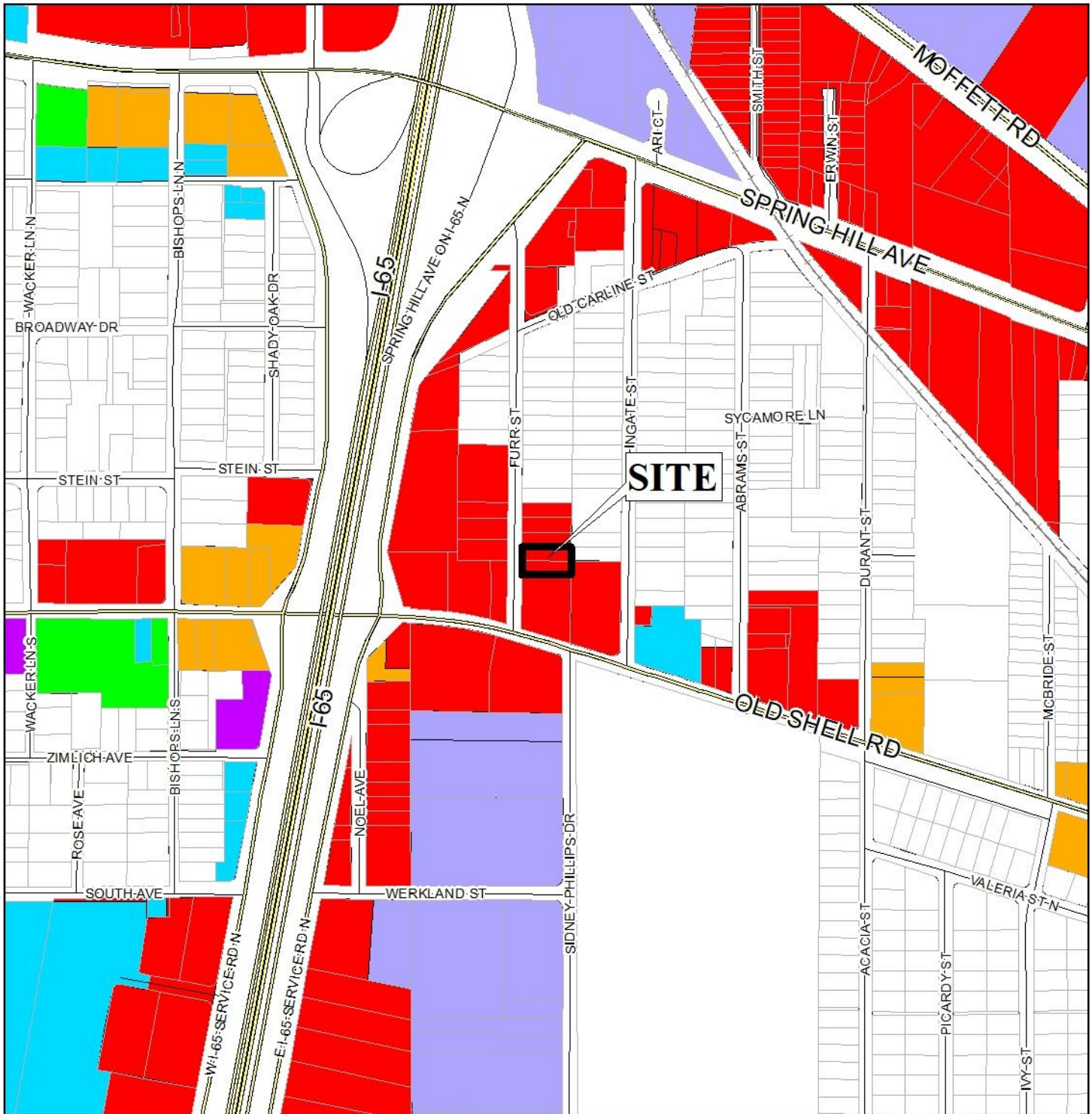
APPLICANT Furr Street Partners Subdivision

REQUEST \_\_\_\_\_ Subdivision \_\_\_\_\_



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# LOCATOR ZONING MAP



APPLICATION NUMBER 12 DATE October 1, 2020

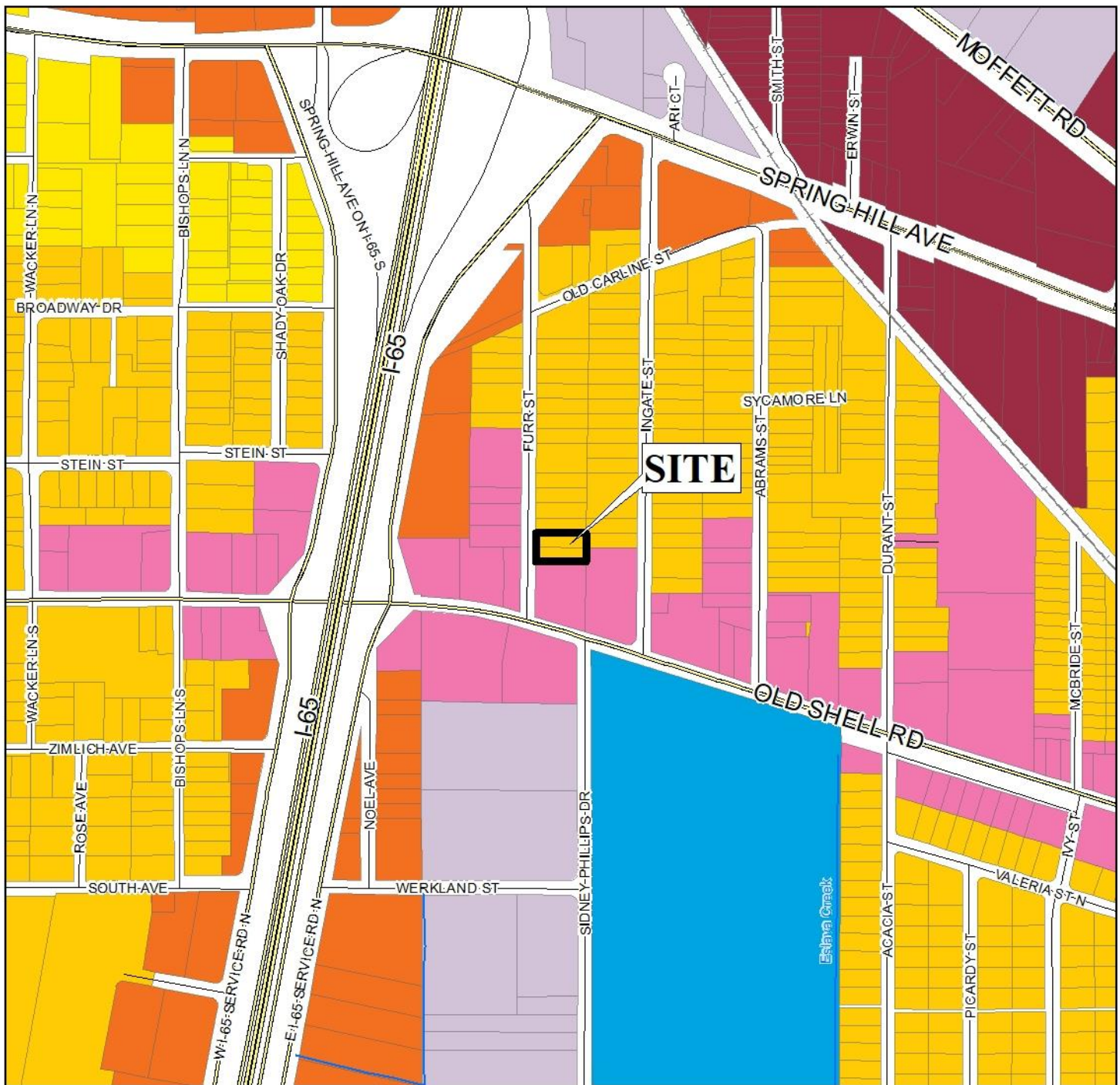
APPLICANT Furr Street Partners Subdivision

REQUEST Subdivision





# FLUM LOCATOR MAP



APPLICATION NUMBER 12 DATE October 1, 2020

APPLICANT Furr Street Partners Subdivision

REQUEST Subdivision

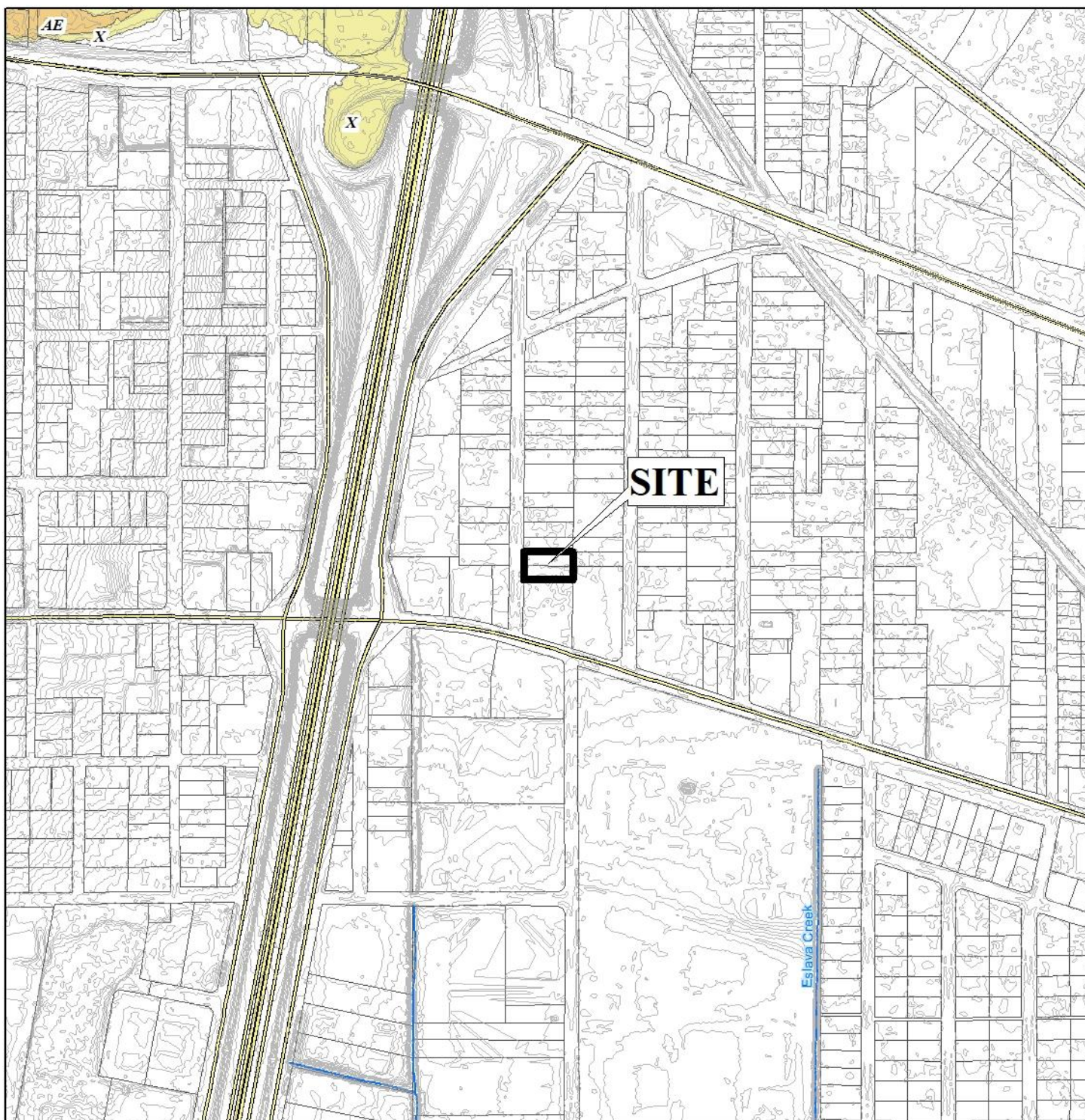
Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



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# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 12 DATE October 1, 2020

APPLICANT Furr Street Partners Subdivision

REQUEST Subdivision





# FURR STREET PARTNERS SUBDIVISION



APPLICATION NUMBER 12 DATE October 1, 2020

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



# FURR STREET PARTNERS SUBDIVISION

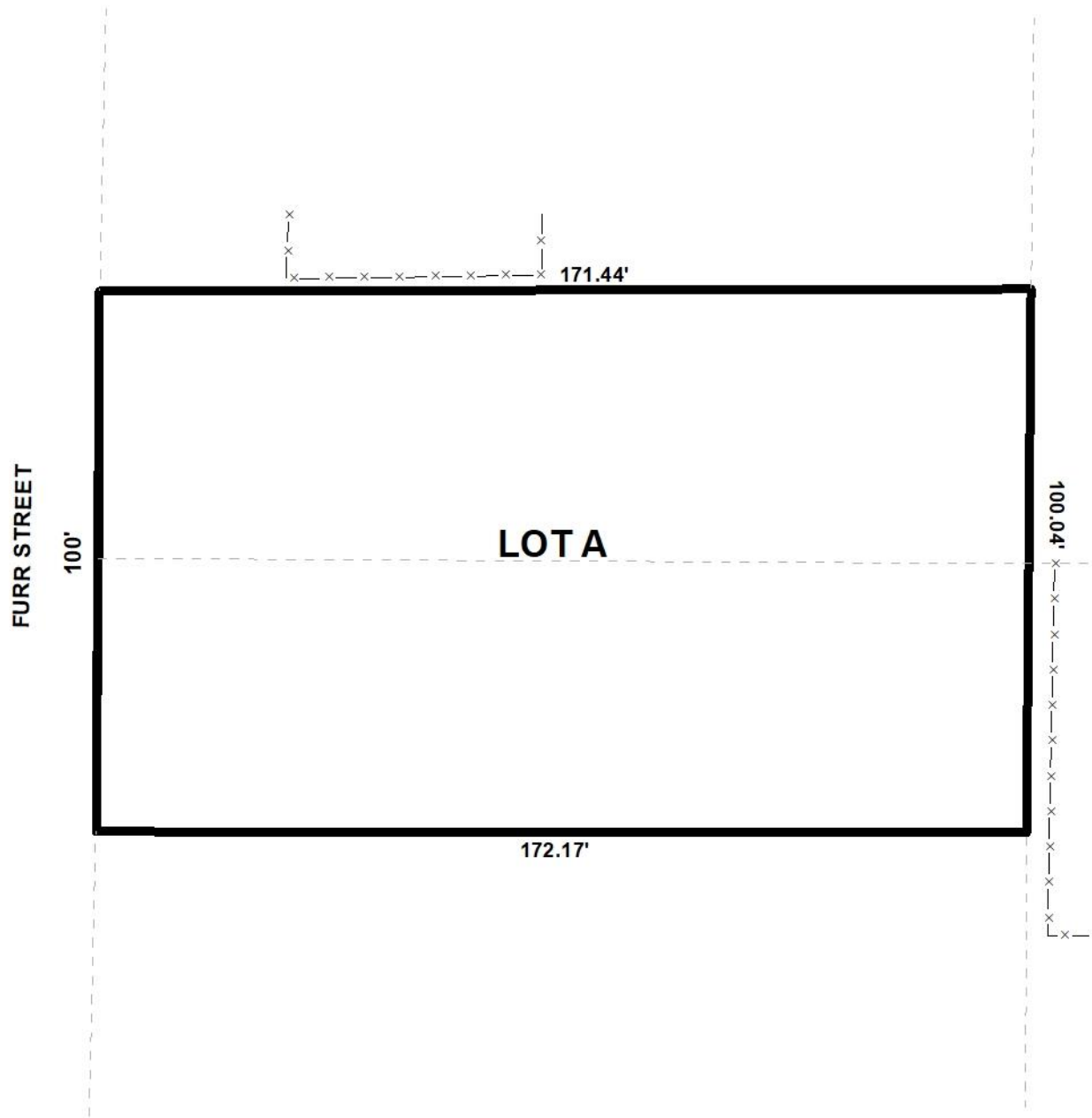


APPLICATION NUMBER 12 DATE October 1, 2020





# DETAIL SITE PLAN



APPLICATION NUMBER 12 DATE October 1, 2020

APPLICANT Furr Street Partners Subdivision

REQUEST Subdivision



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