

**SUBDIVISION,
PLANNED UNIT DEVELOPMENT,
PLANNING APPROVAL &
ZONING AMENDMENT STAFF REPORT****Date: October 6, 2022**

<u>NAME</u>	Robert Clay Buckley (Bethel Engineering, Agent)
<u>SUBDIVISION NAME</u>	Bridge the Gap Subdivision
<u>LOCATION</u>	1617 Brill Road (South side of Brill Road, 350'± West of Dauphin Island Parkway).
<u>CITY COUNCIL DISTRICT</u>	District 3
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>PROPOSED ZONING</u>	R-3, Multi-Family Residential District
<u>AREA OF PROPERTY</u>	1 Lot / 1.5± Acres
<u>CONTEMPLATED USE</u>	<p>Subdivision approval to create one (1) legal lot of record from one (1) metes-and-bounds parcel; Planned Unit Development Approval to allow multiple buildings (manufactured homes) on a single building site; Planning Approval to allow a mobile home park in an R-3, Multi-Family Residential District; and Rezoning from R-1, Single-Family Residential District, to R-3, Multi-Family Residential District.</p> <p>It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.</p>
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not Provided
<u>ENGINEERING COMMENTS</u>	

Subdivision: The "PLAT" that was submitted is labeled SITE PLAN Sheet 2 and does not contain the information required. Submit a PLAT for review.

Planned Unit Development:

1. The PUD drawing that was submitted is labeled SITE PLAN Sheet 2. Revise the drawing to label it a PUD Site Plan.
2. Add the following notes:
 - a. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (251-208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
 - b. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
 - c. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 - d. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
 - e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
 - f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Planning Approval: No Comments.

Rezoning: No Comments.

**TRAFFIC ENGINEERING
COMMENTS**

Site is limited to one driveway Brill Road with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961

Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is requesting Subdivision approval to create one (1) legal lot of record from one (1) metes-and-bounds parcel; Planned Unit Development Approval to allow multiple buildings (manufactured homes) on a single building site; Planning Approval to allow a mobile home park in an R-3, Multi-Family Residential District; and Rezoning from R-1, Single-Family Residential District, to R-3, Multi-Family Residential District.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The subject site has a history of a legal non-conforming use as a mobile home park, and according to affidavits submitted to Planning & Zoning, was initially established as a mobile home park in approximately 1958 with 30 mobile homes. Due to the mobile homes being removed from the property, and the use as a mobile home being abandoned for more than two (2) years, the site has lost its legal non-conforming status as of July 26, 2022. The applicant wishes to re-establish the previous mobile home park with 15 units.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant did not submit a preliminary plat showing the information as required by Section IV.A. of the Subdivision Regulations for the proposed Subdivision, but rather a site plan of the proposed development. As such, if approved, a Final Plat, compliant with Section IV of the Subdivision Regulations will be required.

The site fronts Brill Road, a minor street with ribbon curb and gutter, and as such should have a right-of-way of 60-feet. If approved, the Final Plat should depict that either there is 30-feet existing right-of-way to the centerline of Brill Road, or dedication should be provided.

The proposed lot size is not provided in square feet or acres, but exceeds the minimum standards set forth in Section V.D.2. of the Subdivision Regulations. As such, if approved, this information should be provided on the Final Plat, if approved.

The 25-foot front minimum building setback is depicted on the site plan submitted, but is not labeled as such. If approved, the 25-foot setback should be shown and labeled on the Final Plat.

Regarding access management, a note should be placed on the Final Plat stating Traffic Engineering comments, if approved.

PUD review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and, to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics

of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planning Approval and PUD approval are site plan specific, thus the plan must be accurate at time of submittal, and any changes to the site plan must be approved by the Planning Commission. Also, PUDs expire in one year if no permits are obtained.

The site plan submitted shows spaces for 15 mobile home units with three (3) detention ponds, and gravel surfaced access drives.

The applicant states:

My name is Clay Buckley and I have lived in Mobile all of my life. In 2019 I began to be increasingly aware of the need for affordable housing in our area. I bought the abandoned trailer park at 1617 Brill Road with the plan of restoring the park with new manufactured homes and providing affordable housing for many people. Before purchasing the park I requested and received an extension on the non-conforming status that was approved in 2018 that would allow the property to remain a mobile home park as it has been from the 1960s. But because of covid and many other factors I was unable to get the park operational before the July 2022 deadline. The property is currently zoned R1 and I am asking the commission to approve rezoning the property to R3 in order to move forward with the project and be in compliance with city ordinances.

While no parking calculation information is provided on the site plan, the Zoning Ordinance requires a minimum of 1.5 parking spaces per dwelling unit for multi-family establishments. As such, for 15 mobile homes, 23 parking spaces are required. As depicted, each mobile home will have a driveway that can accommodate two (2) cars each, for a total of 30 parking spaces. Typically, parking lots with 25 parking spaces or more require a photometric site plan at the time of permitting, however, due to the primarily residential use of the site, a waiver of this requirement may be appropriate.

As the site abuts R-1, Single-Family Residential District to the West and South, a compliant residential buffer should be required. The site plan submitted depicts a fence along the property line, but does not mention the height or materials. If approved, the site plan should be revised to state that the fence will be a minimum of six-feet tall, not to exceed three-feet tall within the 25-foot front setback along Brill Road.

The site plan submitted appears to depict existing trees on the site will be preserved, but does not indicate their size and species. If approved, all existing trees to be preserved should be indicated on the site plan with their size and species provided. Furthermore, the proposed development will be required to fully comply with tree planting and landscape area requirements, with tree plantings to be coordinated with staff.

The site plan submitted does not depict a proposed dumpster for the site, nor does it state that curb side pickup will be utilized. If approved, the site plan should be revised to either depict a dumpster with a complaint enclosure and sanitary sewer connection, or include a note stating that curbside pickup will be utilized for garbage removal.

The site plan submitted does not appear to depict a sidewalk along Brill Road. If approved, the site plan should be revised to depict a sidewalk as required by the Subdivision Regulations.

Furthermore, the site plan appears to depict gravel surfacing for the proposed development. If approved, the site plan should be revised to depict either concrete or asphalt surfacing for all access, maneuvering, and parking areas.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The site is bounded to the North by R-1, Single-Family Residential and B-2, Neighborhood Business District; to the West by R-1, to the South, by B-1, Buffer Business District and R-1; and to the East by B-2.

Section 64-9.A.2.a. of the Zoning Ordinance states that a newly proposed R-3 district should contain at least four (4) acres of land, or be adjacent to an existing B-1 or B-2 districts. The subject is 1.5± acres, and abuts existing B-1 and B-2 properties.

The applicant is trying to re-establish a use that was initially established at this location over 60 years ago, and bring the site into compliance with Zoning Ordinance requirements. As such, it would appear that there may have been an error in the Ordinance which resulted in the property being zoned for single-family occupancy, rather than multi-family, as it was being utilized at the time the current Zoning Ordinance was adopted.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following:

- 1) Provision of a Final Plat in compliance with Section IV of the Subdivision regulations;
- 2) revision to either depict there is 30-feet between the front property line and the centerline of Brill Road, or dedication to provide such;
- 3) retention of the lot sizes in square feet and acres, adjusted for any required dedication;
- 4) depiction and labeling of the 25-foot front setback along Brill Road;
- 5) provision of the lot size in both square feet and acres;

- 6) full compliance with Engineering comments: (*The “PLAT” that was submitted is labeled SITE PLAN Sheet 2 and does not contain the information required. Submit a PLAT for review.*);
- 7) placement of a note on the Final Plat stating Traffic Engineering comments: (*Site is limited to one driveway Brill Road with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.*);
- 8) compliance with Urban Forestry comments: (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.*);
- 9) compliance with Fire Department comments: (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.*); and
- 10) submittal to and approval by Planning and Zoning of a revised PUD site plan (hard copy and .pdf), prior to signing the Final Plat.

Planned Unit Development: Staff recommends the following Findings of Fact for Approval:

- a. the proposal promotes the objective of Creative design (*to encourage innovative and diversified design in building form and site development*), because it will allow a new development to be accessed by proposed interior drives, thus reducing the need for access from public streets;
- b. the proposal promotes the objective of Flexibility (*to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations*), because it will allow a new multi-family development with multiple structures on a single building site;
- c. the proposal promotes the objective of Efficient land use (*to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment*), because it will result in re-development of a site in an existing developed portion of town;
- d. the proposal promotes the objective of Environment (*to preserve and protect as urban amenities the natural features and characteristics of the land*), because the site will comply with tree planting and landscape area requirements while preserving existing trees;
- e. the proposal promotes the objective of Public services (*to encourage optimum use of available public utilities, streets and community facilities*), because services already exist in the area, and the number of proposed units is half of what was on the site previously.

Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) revision to either depict there is 30-feet between the front property line and the centerline of Brill Road, or dedication to provide such;
- 2) retention of the lot sizes in square feet and acres, adjusted for any required dedication;
- 3) depiction and labeling of the 25-foot front setback along Brill Road;
- 4) provision of the lot size in both square feet and acres;
- 5) placement of a note on the site plan stating a wooden privacy fence abutting residential property will be a minimum of six-feet tall, not to exceed three-feet within the 25-foot setback along Brill Road;
- 6) revision of the site plan to depict all existing trees to remain on site, labeled with their size and species;
- 7) placement of a note on the site plan stating the development will fully comply with tree planting and landscape area requirements, with tree plantings to be coordinated with staff;
- 8) revision of the site plan to depict all access, maneuvering, and parking areas surfaced with either asphalt or concrete;
- 9) revision of the site plan to depict and provide a sidewalk along Brill Road;
- 10) revision of the site plan to either depict a dumpster with a complaint enclosure and sanitary sewer connection, or include a note stating that curbside pickup will be utilized for garbage removal;
- 11) full compliance with Engineering comments: *(1. The PUD drawing that was submitted is labeled SITE PLAN Sheet 2. Revise the drawing to label it a PUD Site Plan. 2. Add the following notes: a. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (251-208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). b. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. c. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. d. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 12) placement of a note on the Final Plat stating Traffic Engineering comments: *(Site is limited to one driveway Brill Road with size, location, and design to be approved by Traffic*

Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);

- 13) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 14) compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);*
- 15) submittal to and approval by Planning and Zoning of a revised PUD site plan (hard copy and .pdf), prior to signing the Final Plat; and
- 16) full compliance with all municipal codes and ordinances.

Planning Approval: Staff recommends the following Findings of Fact for Approval:

- a.the proposal will be appropriate with regard to transportation and access, water supply, waste disposal, fire and police protection, and other public facilities, because the services already exist in the area;
- b.the proposal will not cause undue traffic congestion or create a traffic hazard, because the proposed development will result in half of the number of dwelling units the site contained previously; and
- c.the proposal will be in harmony with the orderly and appropriate development of the district in which the use is located, because the previous mobile home park on the site was established over 60 years ago, and only recently lost its legal non-conforming status.

Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) revision to either depict there is 30-feet between the front property line and the centerline of Brill Road, or dedication to provide such;
- 2) retention of the lot sizes in square feet and acres, adjusted for any required dedication;
- 3) depiction and labeling of the 25-foot front setback along Brill Road;
- 4) provision of the lot size in both square feet and acres;
- 5) placement of a note on the site plan stating a wooden privacy fence abutting residential property will be a minimum of six-feet tall, not to exceed three-feet within the 25-foot setback along Brill Road;
- 6) revision of the site plan to depict all existing trees to remain on site, labeled with their size and species;
- 7) placement of a note on the site plan stating the development will fully comply with tree planting and landscape area requirements, with tree plantings to be coordinated with staff;

- 8) revision of the site plan to depict all access, maneuvering, and parking areas surfaced with either asphalt or concrete;
- 9) revision of the site plan to depict and provide a sidewalk along Brill Road;
- 10) revision of the site plan to either depict a dumpster with a complaint enclosure and sanitary sewer connection, or include a note stating that curbside pickup will be utilized for garbage removal;
- 11) placement of a note on the Final Plat stating Traffic Engineering comments: *(Site is limited to one driveway Brill Road with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.)*;
- 12) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.)*;
- 13) compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.)*;
- 14) submittal to and approval by Planning and Zoning of a revised PUD site plan (hard copy and .pdf), prior to signing the Final Plat; and
- 15) full compliance with all municipal codes and ordinances.

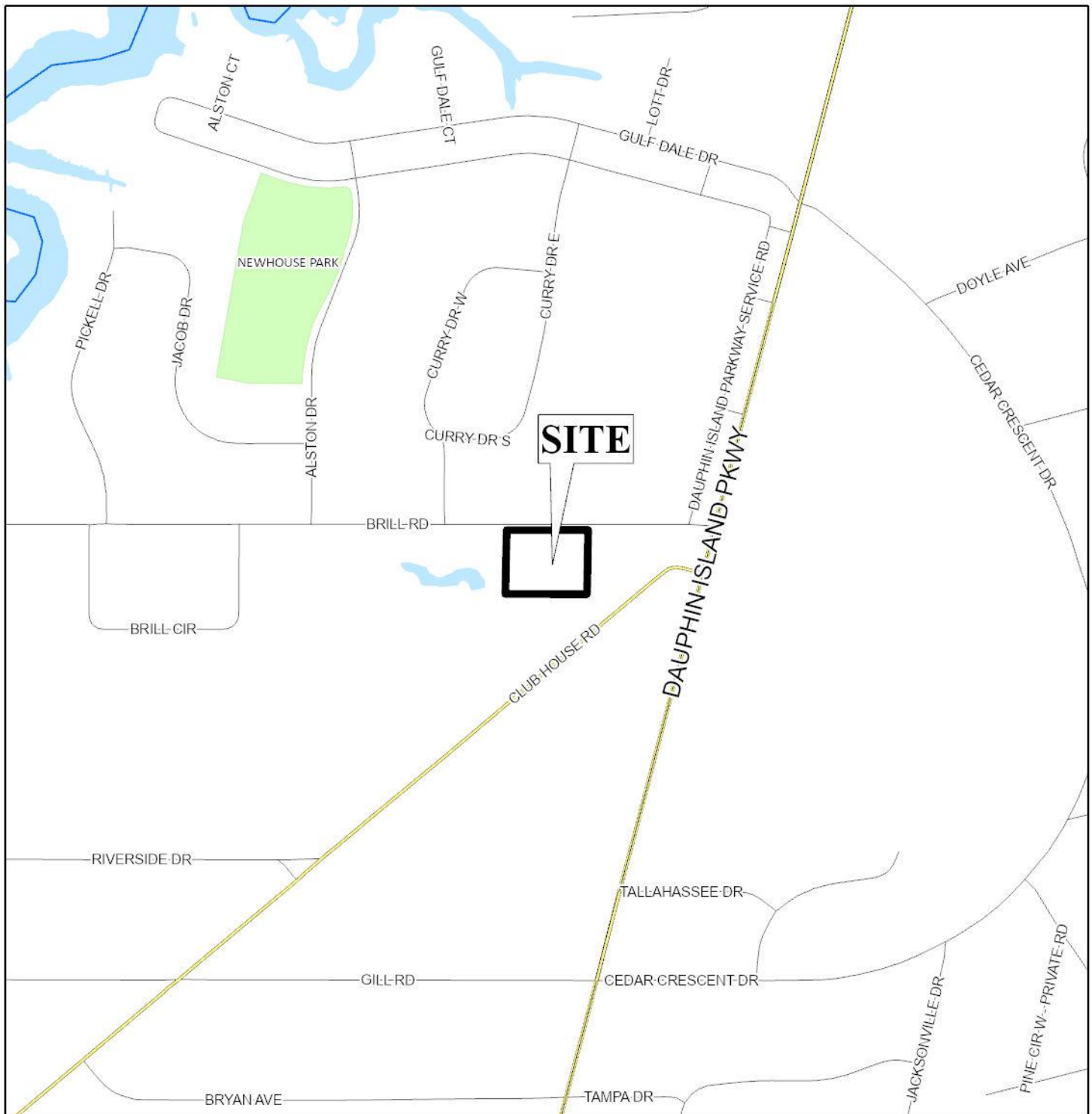
Rezoning: Based on the preceding, this application is recommended for Approval for the following reason:

- 1) there is a manifest error in the Ordinance.

The rezoning should be subject to the following conditions:

- 1) completion of the Subdivision process; and
- 2) full compliance with all municipal codes and ordinances.

LOCATOR MAP



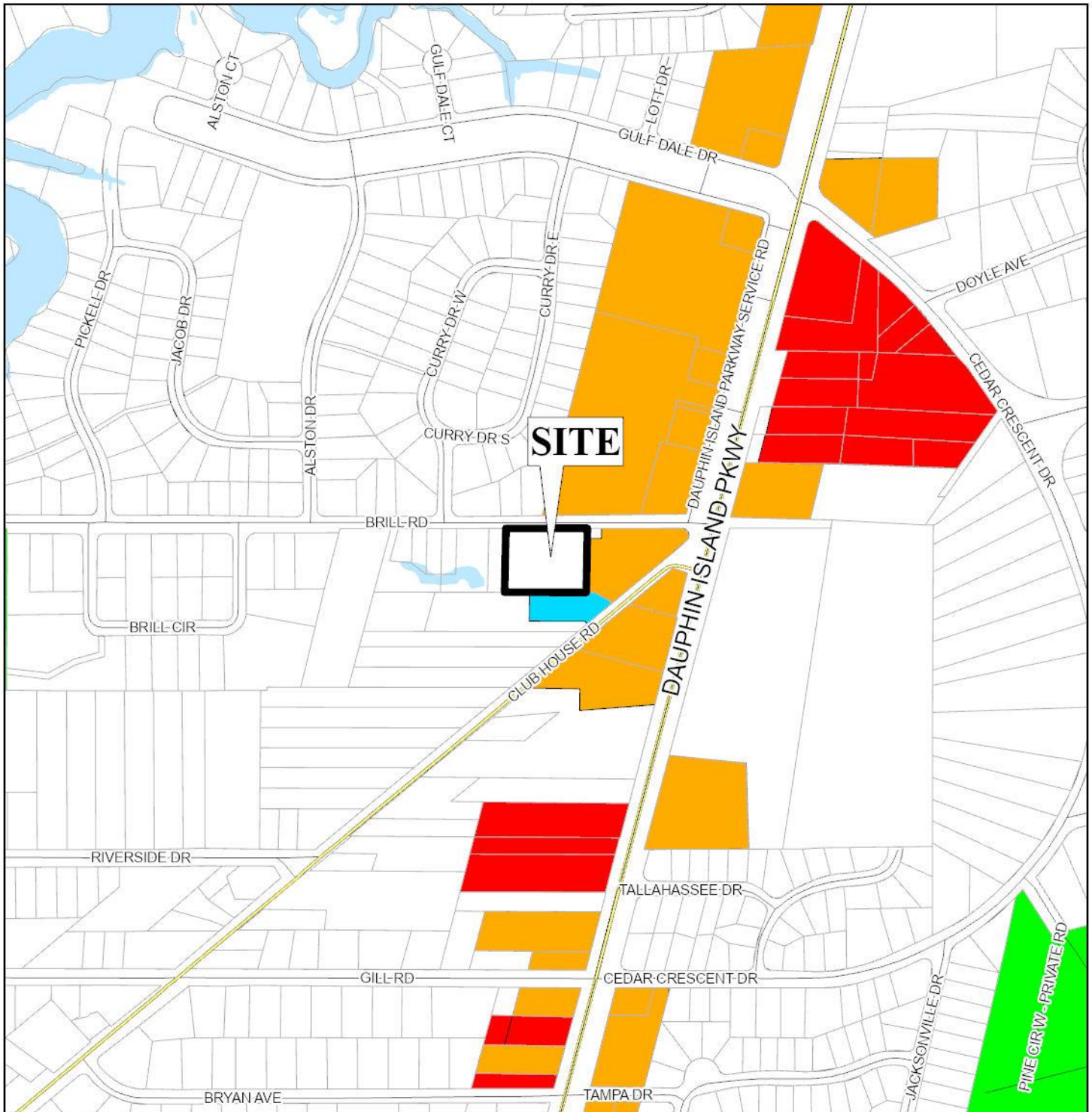
APPLICATION NUMBER 12 DATE October 6, 2022

APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3



LOCATOR ZONING MAP



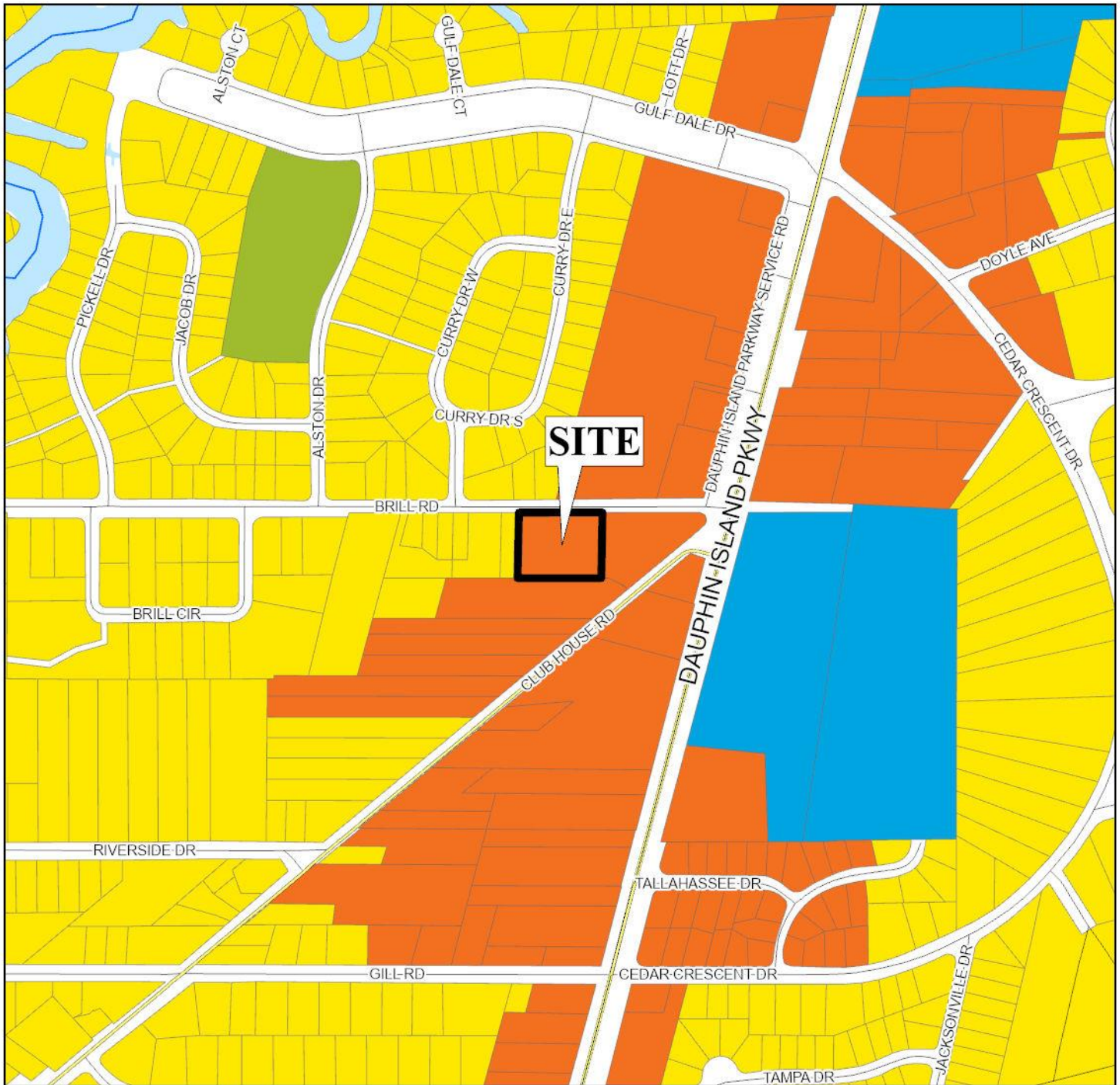
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APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3



FLUM LOCATOR MAP



APPLICATION NUMBER 12 DATE October 6, 2022

APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3

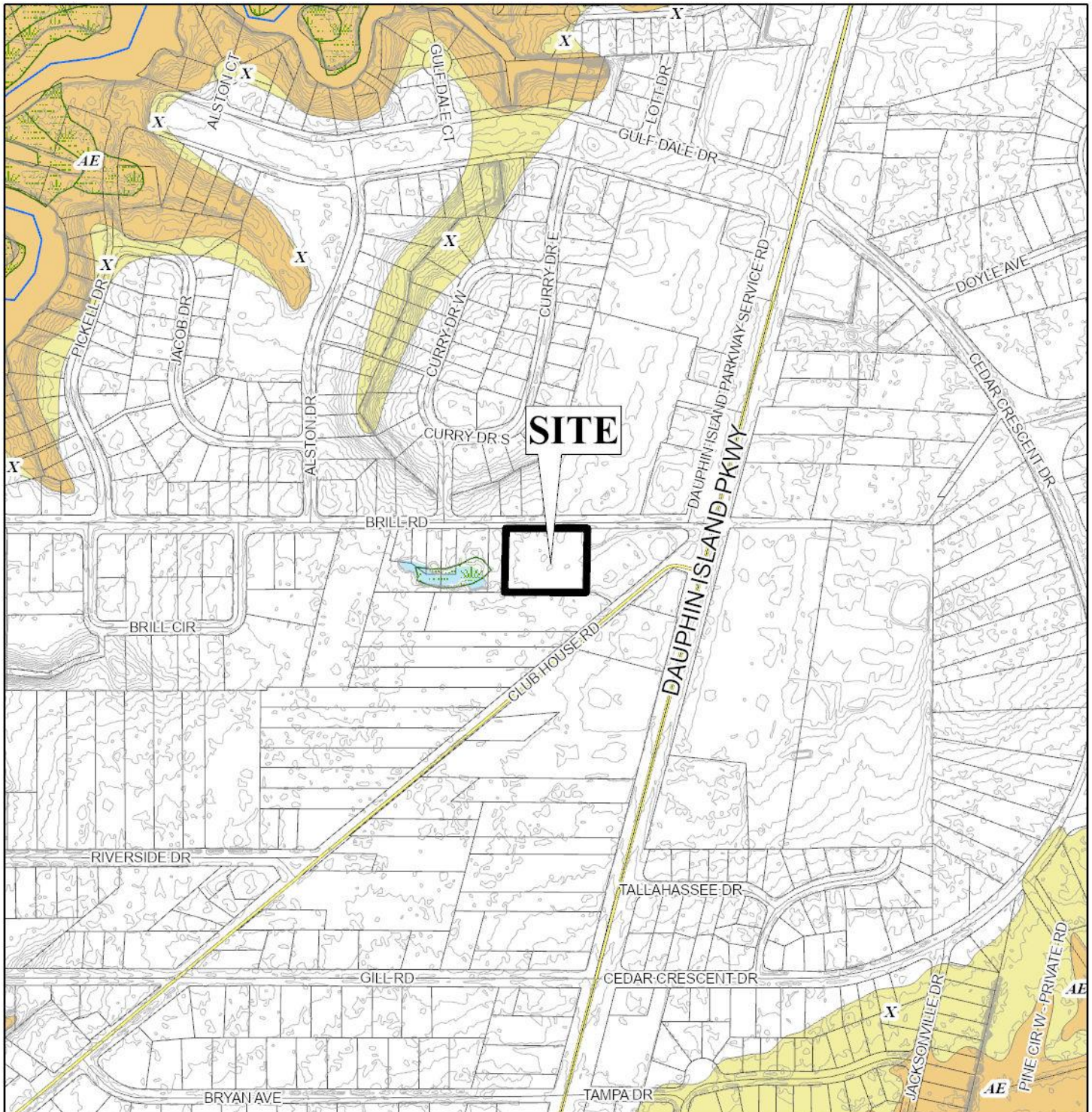
Layer2

Downtown	Traditional Corridor	Heavy Industry
District Center	Mixed Commercial Corridor	Institutional
Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Neighborhood Center - Suburban	Light Industry	Water Dependent
Low Density Residential		
Mixed Density Residential		



NTS

ENVIRONMENTAL LOCATOR MAP



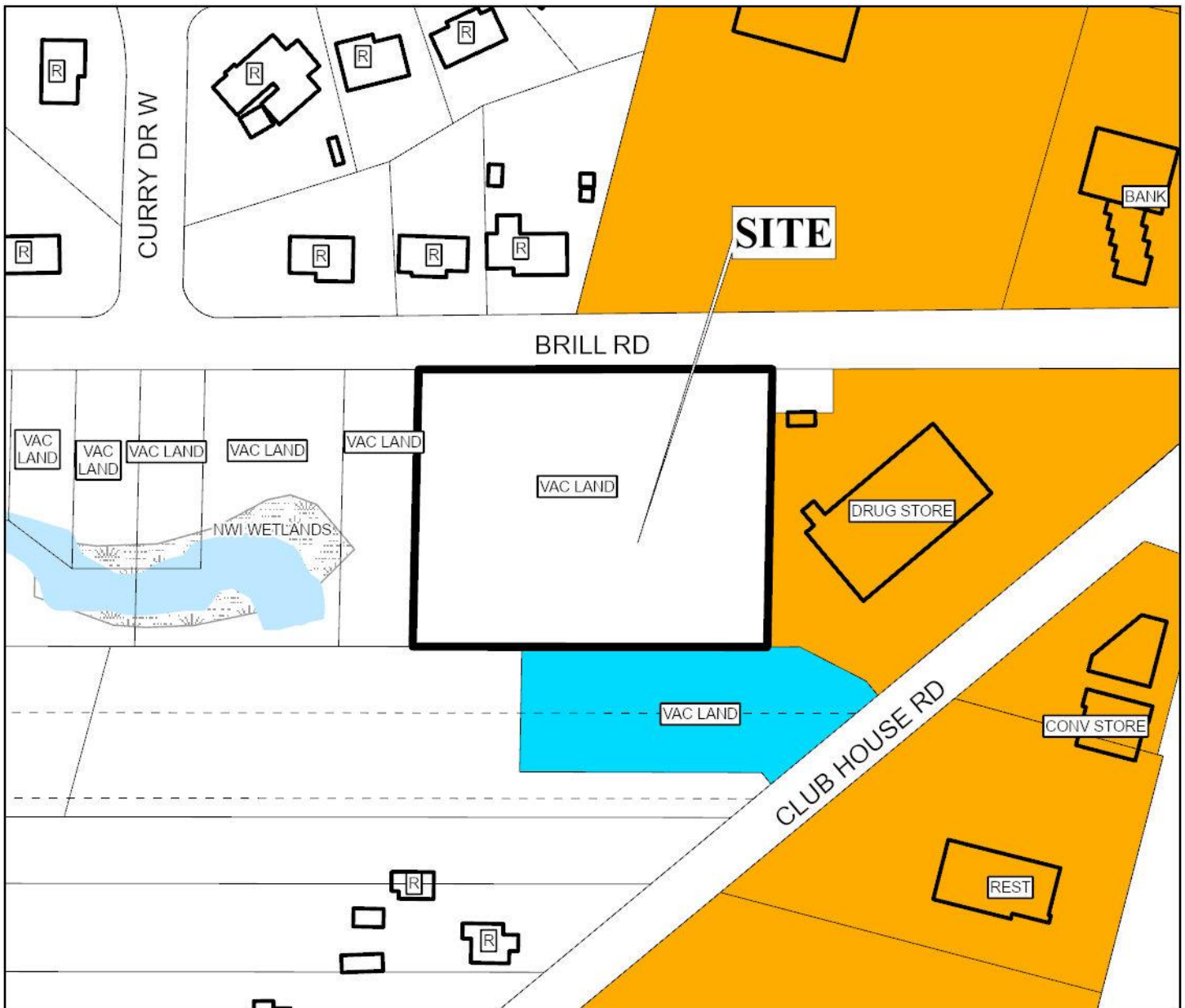
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APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and commercial units.

APPLICATION NUMBER 12 DATE October 6, 2022

APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

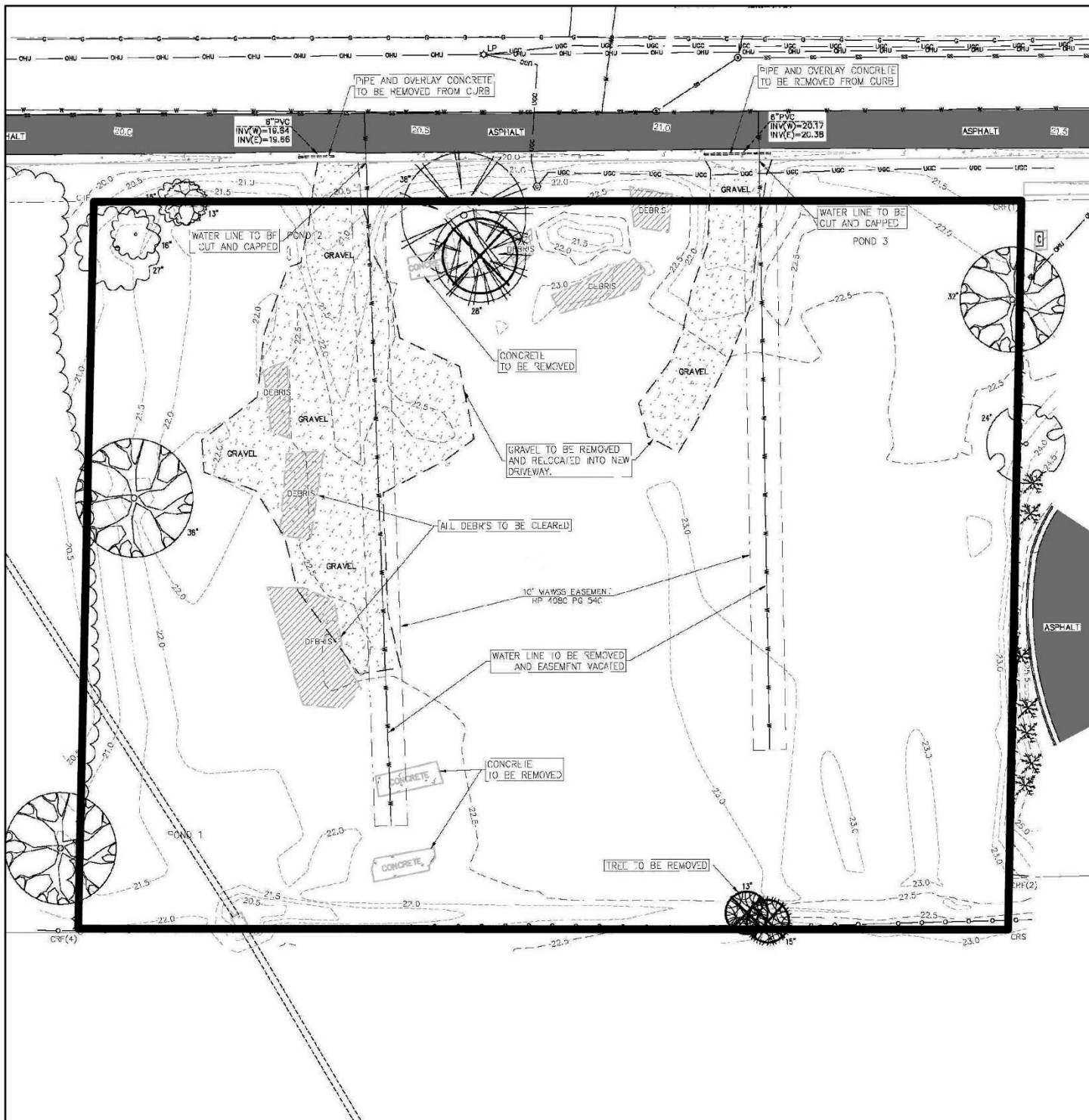


The site is surrounded by residential and commercial units.

APPLICATION NUMBER 12 DATE October 6, 2022
 APPLICANT Bridge the Gap Subdivision
 REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3



EXISTING SITE PLAN



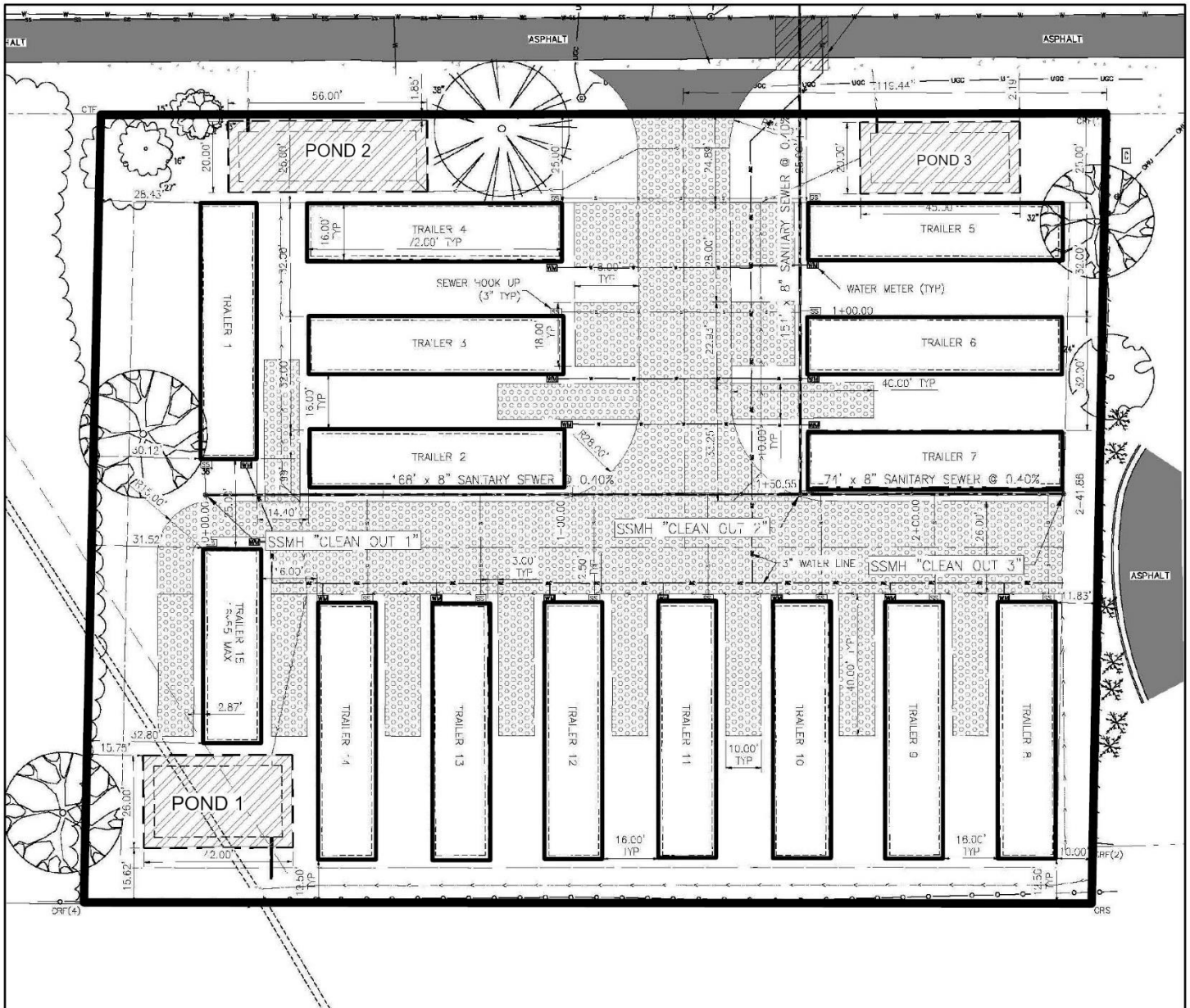
APPLICATION NUMBER 12 DATE October 6, 2022

APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, Pud, Pa, Rezoning From R-1 To R-3



PROPOSED SITE PLAN



The site illustrates the proposed trailers, ponds, and drive.

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APPLICANT Bridge The Gap Subdivision

REQUEST Subdivision, PUD, PA, Rezoning from R-1 to R-3

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