

**SUBDIVISION &
ZONING AMENDMENT STAFF REPORT****Date: February 16, 2017****APPLICANT NAME**

University of South Alabama

SUBDIVISION NAME

USA Springhill East Subdivision

LOCATION

Northeast corner of Spring Hill Avenue and North Lafayette Street

**CITY COUNCIL
DISTRICT**

Council District 2

PRESENT ZONING

B-2, Neighborhood Business District, B-1, Buffer Business District, and R-1, Single-Family Residential District

PROPOSED ZONING

B-2, Neighborhood District

AREA OF PROPERTY

1 Lot/1.3± Acres

CONTEMPLATED USE

Subdivision Approval to create a single legal lot of record from six metes-and-bound parcels; and Rezoning from B-2, Neighborhood Business District, B-1, Buffer Business District, and R-1, Single-Family Residential District, to B-2, Neighborhood District, to allow a medical office and eliminate split zoning. **It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.**

**ENGINEERING
COMMENTS**

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.

- C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of Spring Hill Ave. and Lafayette St. to the City of Mobile, and list the amount of dedicated acreage.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- F. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- G. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat to the Engineering Department.

TRAFFIC ENGINEERING**COMMENTS**

Spring Hill Avenue (US Highway 98) is an ALDOT maintained roadway. Site is limited to no more than one curb cut per street frontage with size, location and design to be approved by ALDOT and Traffic Engineering (where applicable) and conform to AASHTO standards. New on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)

MAWSS**COMMENTS**

None provided

**TIME SCHEDULE
FOR DEVELOPMENT**

None provided

REMARKS

The applicant is requesting Subdivision Approval to create a single legal lot of record from six metes-and-bound parcels; and Rezoning from B-2, Neighborhood Business District, B-1, Buffer Business District, and R-1, Single-Family Residential District, to B-2, Neighborhood District, to allow a medical office and eliminate split zoning

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the

minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant proposes to create a single legal lot of record from six metes-and-bounds parcels. The lot size is not provided in square feet or acres, but does exceed the minimum lot size requirements of Section V.D.2. of the Subdivision Regulations. If approved, the lot size should be provided in square feet and acres on the Final Plat.

The site has frontage along Spring Hill Avenue and North Lafayette Street. Spring Hill Avenue is a major street, with an existing right-of-way of 100', making no dedications necessary. North Lafayette Street is a minor street with curb and gutter, an existing right-of-way of 50', making no dedication necessary. Per Section V.D.6. of the Subdivision Regulation, the corner radius at North Lafayette Street and Spring Hill Avenue should be dedicated on the Final Plat, if approved.

The preliminary plat does illustrate the 25' minimum building setback along both frontages. If approved, this information should be retained on the Final Plat as well.

Spring Hill Avenue (US Highway 98) is an ALDOT maintained roadway. Site should be limited to no more than one curb cut per street frontage with size, location and design to be approved by ALDOT and Traffic Engineering (where applicable) and conform to AASHTO standards.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The applicant does not specifically state which of the conditions exist that necessitate the proposed rezoning, however, approval of the proposed subdivision would result in a split-zoned lot. It should be noted that the proposed medical clinic use would also be allowed in a B-1, Buffer Business District, and as the majority of the surrounding property is currently zoned B-1, that may be a more appropriate zoning district for the subject property.

The entire site appears to be depicted as "Institutional", per the recently adopted Map for Mobile Plan. The intent of an Institutional Area is to allow for:

- Better connectivity to surrounding areas and uses, especially neighborhoods
- Encourage compatible uses in immediately adjacent areas
- Minimize impact to existing neighborhoods

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional

information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, zoning classification.

The site is bounded to the North and East, by B-1, Buffer Business District; to the West across North Lafayette Street by B-1, Buffer Business District and B-2, Neighborhood Business District; and to the South across Spring Hill Avenue, by B-2, Neighborhood Business District.

The applicant states that the site has an existing 40' x 70' structure and asphalt parking that will be demolished for the re-development of a Fresenius medical clinic. A proposed site plan depicts a new 6,968 square foot nephrology clinic, dumpster, and all required parking, access, and maneuvering areas to be on the subject site. It should be noted that rezonings are not site plan specific, so if the existing shared access to the property to the North is to be maintained, an Administrative Planned Unit Development application will be required prior to re-development.

The B-1 property to the East appears to be used residentially, therefore a residential buffer compliant with Section 64-4.D.1. of the Zoning Ordinance should be provided, if approved.

The proposed site plan indicates that a dumpster will be provided on the site. It should be noted that the dumpster will be required to be connected to sanitary sewer as well as have a dumpster enclosure compliant with Section 64-4.D.9. of the Zoning Ordinance.

The proposed 6,968 square foot clinic would require 24 parking spaces, and is illustrated to have 35 parking spaces, and will therefore require photometrics to be submitted at the time of permitting. All proposed access and maneuvering areas are 24' wide to allow two-way travel, with the exception of a 15' wide drive in the front of the building which appears to be for a patient drop-off area. Any access and maneuvering areas less than 24' wide should be clearly indicated as one-way traffic.

The proposed site plan indicates several large existing trees in the right-of-way adjacent to the site. The canopy of these trees should be illustrated at the time of permitting so that frontage tree requirements will be appropriately reduced to allow the existing trees room to continue to thrive.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following:

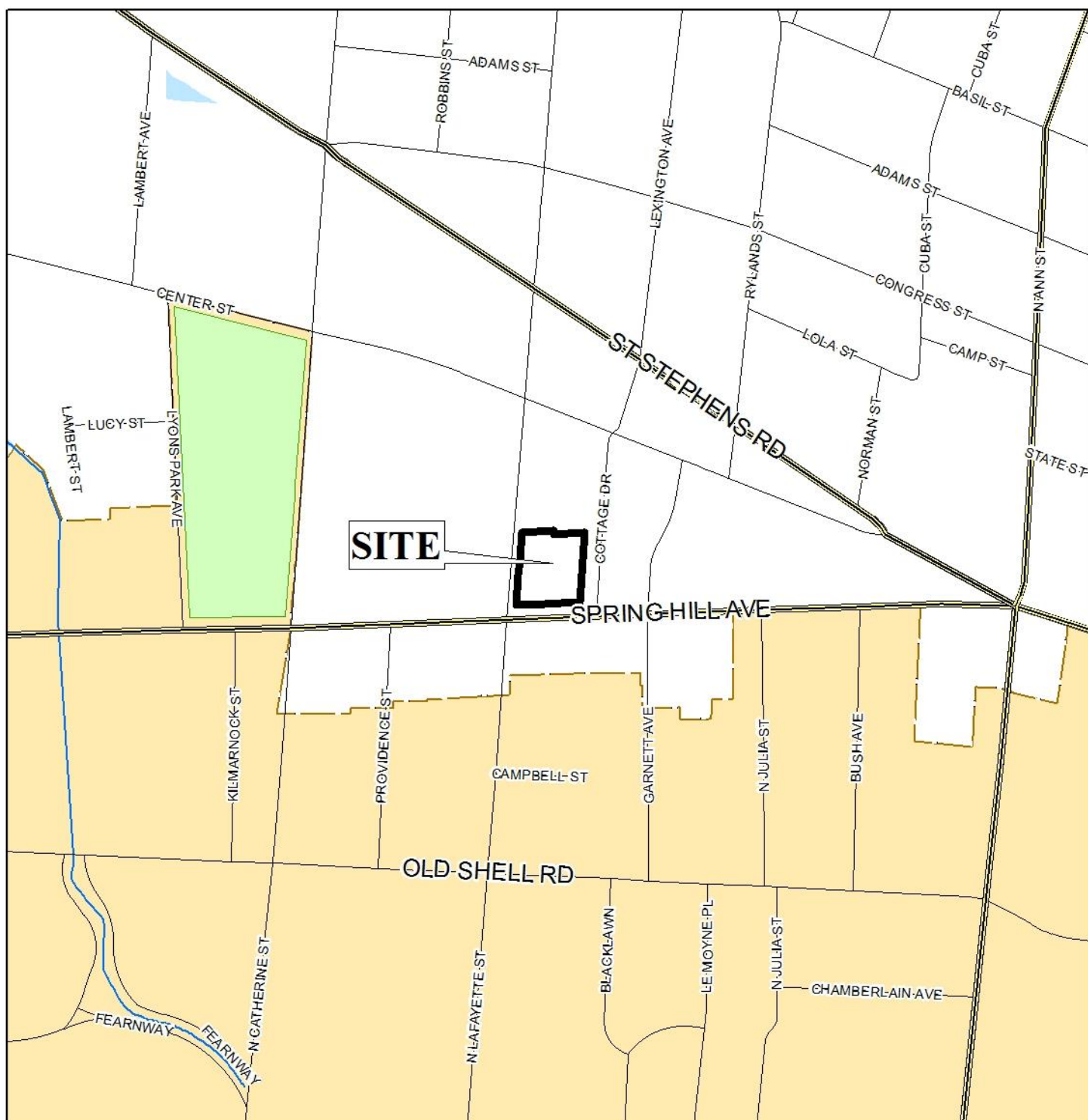
- 1) dedication of the corner radius at Spring Hill Avenue and North Lafayette Street per Section V.D.6. of the Subdivision Regulations;
- 2) provision of the lot size in square feet and acres;
- 3) retention of the 25' minimum building setback line along both frontages, adjusted for dedication;
- 4) placement of a note on the site plan stating that the lot is limited to one curb cut per street frontage, with size, location and design to be approved by ALDOT and Traffic Engineering (where applicable) and conform to AASHTO standards;

- 5) full compliance with the Traffic Engineering comments (*Spring Hill Avenue (US Highway 98) is an ALDOT maintained roadway. Site is limited to no more than one curb cut per street frontage with size, location and design to be approved by ALDOT and Traffic Engineering (where applicable) and conform to AASHTO standards. New on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 6) full compliance with Engineering comments (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of Spring Hill Ave. and Lafayette St. to the City of Mobile, and list the amount of dedicated acreage. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. F. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. G. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat to the Engineering Department.*);
- 7) compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code); and*
- 8) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*

Rezoning: Based upon the preceding, the application is recommended for Approval to **B-1, Buffer Business District**, subject to the following:

- 1) completion of the Subdivision process; and
- 2) full compliance with all municipal codes and ordinances.

LOCATOR MAP



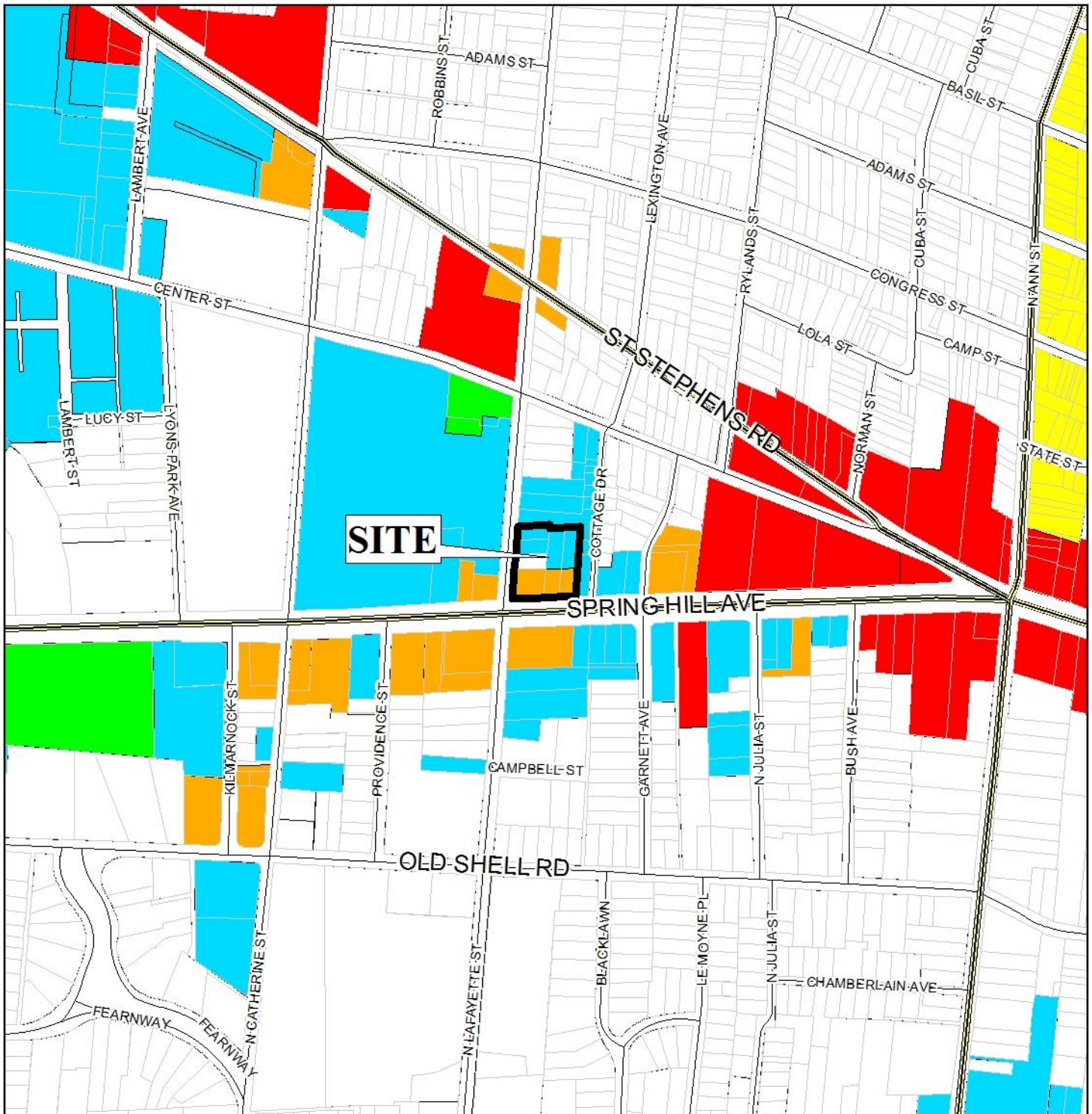
APPLICATION NUMBER 11 DATE February 16, 2017

APPLICANT USA Springhill East Subdivision

REQUEST Subdivision, Rezoning from B-1, B-2, and R-1 to B-2



LOCATOR ZONING MAP



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REQUEST Subdivision, Rezoning from B-1, B-2, and R-1 to B-2



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units to the south and east, residential units to the northeast, and a hospital is located to the west.

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REQUEST Subdivision, Rezoning from B-1, B-2, and R-1 to B-2

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units to the south and east, residential units to the northeast, and a hospital is located to the west.

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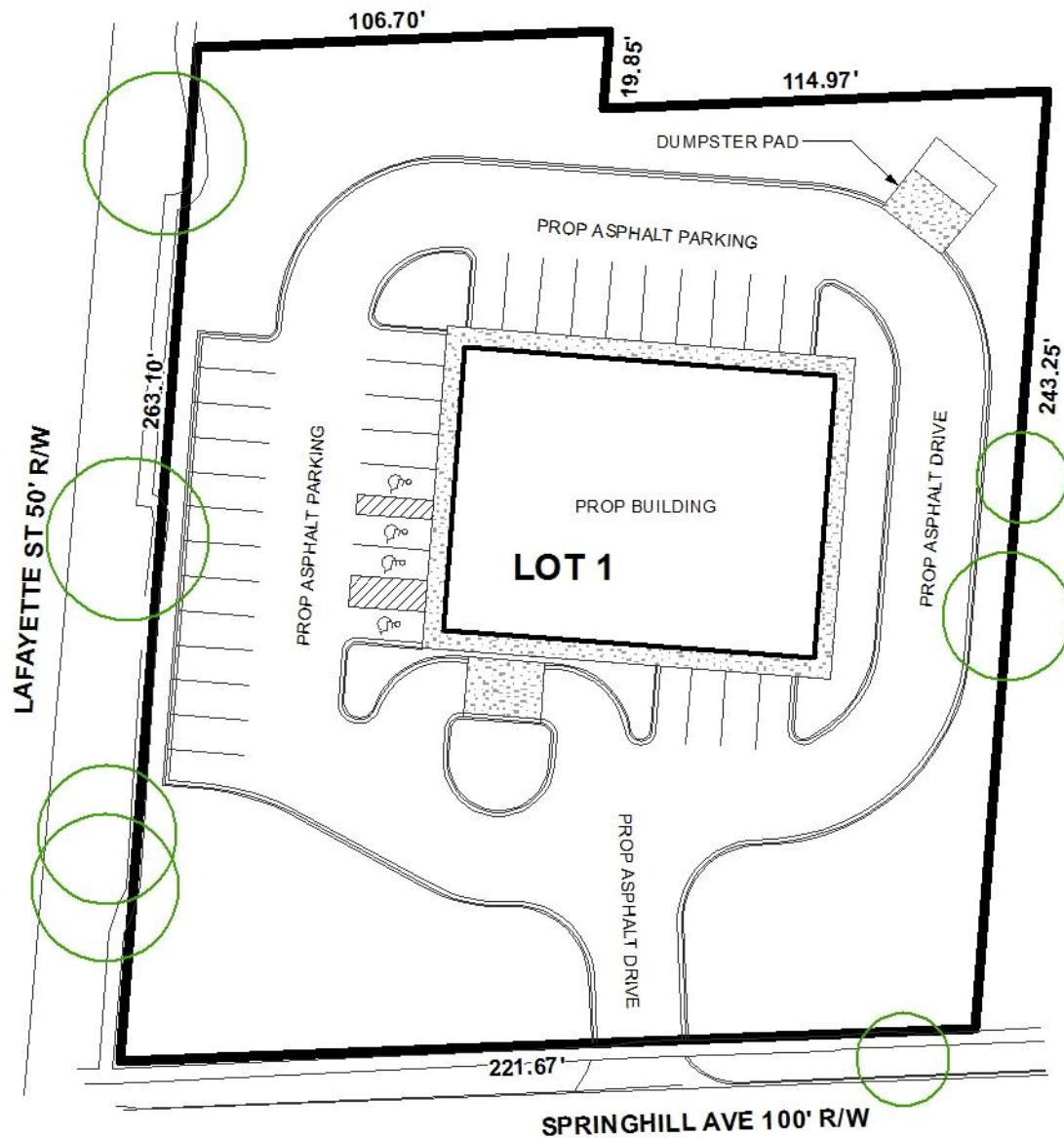
APPLICANT USA Springhill East Subdivision

REQUEST Subdivision, Rezoning from B-1, B-2, and R-1 to B-2



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PROPOSED SITE PLAN



The site plan illustrates the proposed building, proposed asphalt drive, and proposed asphalt parking.

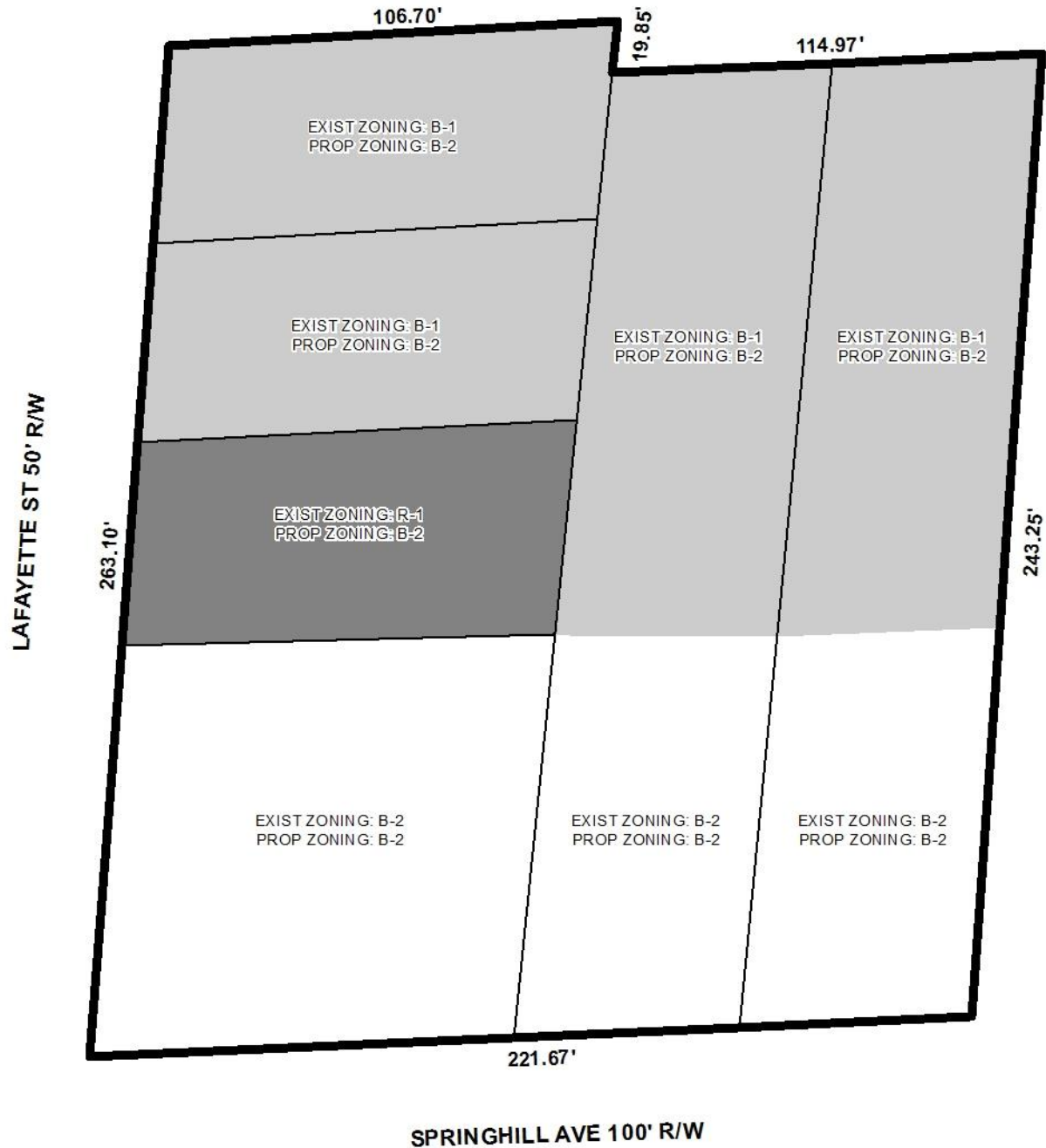
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DETAIL SITE PLAN



APPLICATION NUMBER 11 DATE February 16, 2017
APPLICANT USA Springhill East Subdivision
REQUEST Subdivision, Rezoning from B-1, B-2, and R-1 to B-2



