

TROVINGER SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 2-lot, 4.5± acres subdivision located on the Northeast corner of McDonald and U.S. Highway 90 West, extending to the South side of Boe Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems. The purpose of this application is to create two legal lots of record from one metes-and-bounds parcel.

The site has frontage on U.S. Highway 90 to the South, a major street requiring a 250' right-of-way; McDonald Road to the West, a minor street without curb and gutter requiring a 60' right-of-way; and Boe Road to the North, a minor, unpaved street without curb and gutter, also requiring a 60' right-of-way. The existing right-of-way depicted along U.S. Highway 90 is 120', making dedication to provide 125' from the centerline necessary; along McDonald Road the existing right-of-way is 60', therefore no dedication should be required. The existing right-of-way depicted along Boe Road it is 45', thus dedication is required to provide 30' from the centerline.

Dedication of the corner radii at U.S. Highway 90 and McDonald Road, as well as McDonald Road and Boe Road, should be required per Section V.D.6. of the Subdivision Regulations.

As a means of access management, a note should be required on the Final Plat stating that each lot is limited to two curb cuts each to either of the streets along which each proposed lot has frontage, with the size, location and design to be approved by ALDOT (as necessary) and Mobile County Engineering, and conform to AASHTO standards.

The preliminary plat indicates a 25' building setback line for each of the proposed lots as required by Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat, adjusted for any required dedication.

Each lot meets the minimum size requirements of the Subdivision Regulations but the sizes are not labeled on the preliminary plat. If approved, each lot size should be labeled with its respective size in square feet and acres on the Final Plat, adjusted for any right-of-way dedication, or a table should be furnished on the Final Plat providing the same information.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the

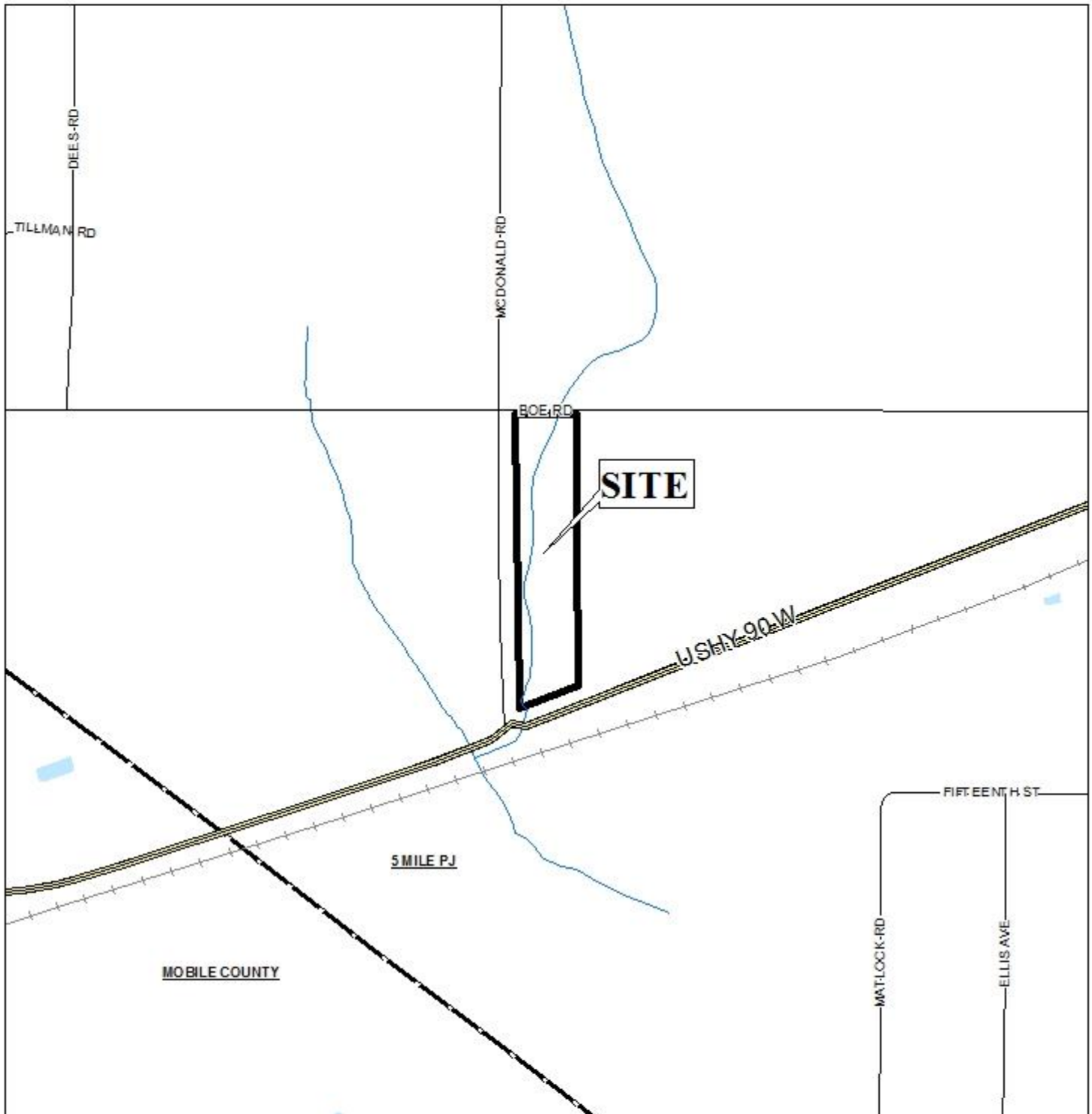
Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

The proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) dedication to provide 125' from the centerline of U.S. Highway 90;
- 2) revision of the Final Plat to provide 30' from the centerline of Boe Road;
- 3) dedication of the corner radii at U.S. Highway 90 and McDonald Road, as well as McDonald Road and Boe Road per Section V.D.6. of the Subdivision Regulations;
- 4) revision of the Final Plat to illustrate dedication of a curb radius of not less than 20' at the intersection corner to which Lot 2 has frontage;
- 5) placement of a note on the Final Plat stating that each lot is limited to two curb cuts, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards;
- 6) retention of the building setback line for each lot on the Final Plat;
- 7) placement of a note stating the lot sizes in square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information, adjusted for dedication;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 9) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*; and
- 10) placement of a note on the Final Plat to comply with the Fire Department comments: *“Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)”*

LOCATOR MAP



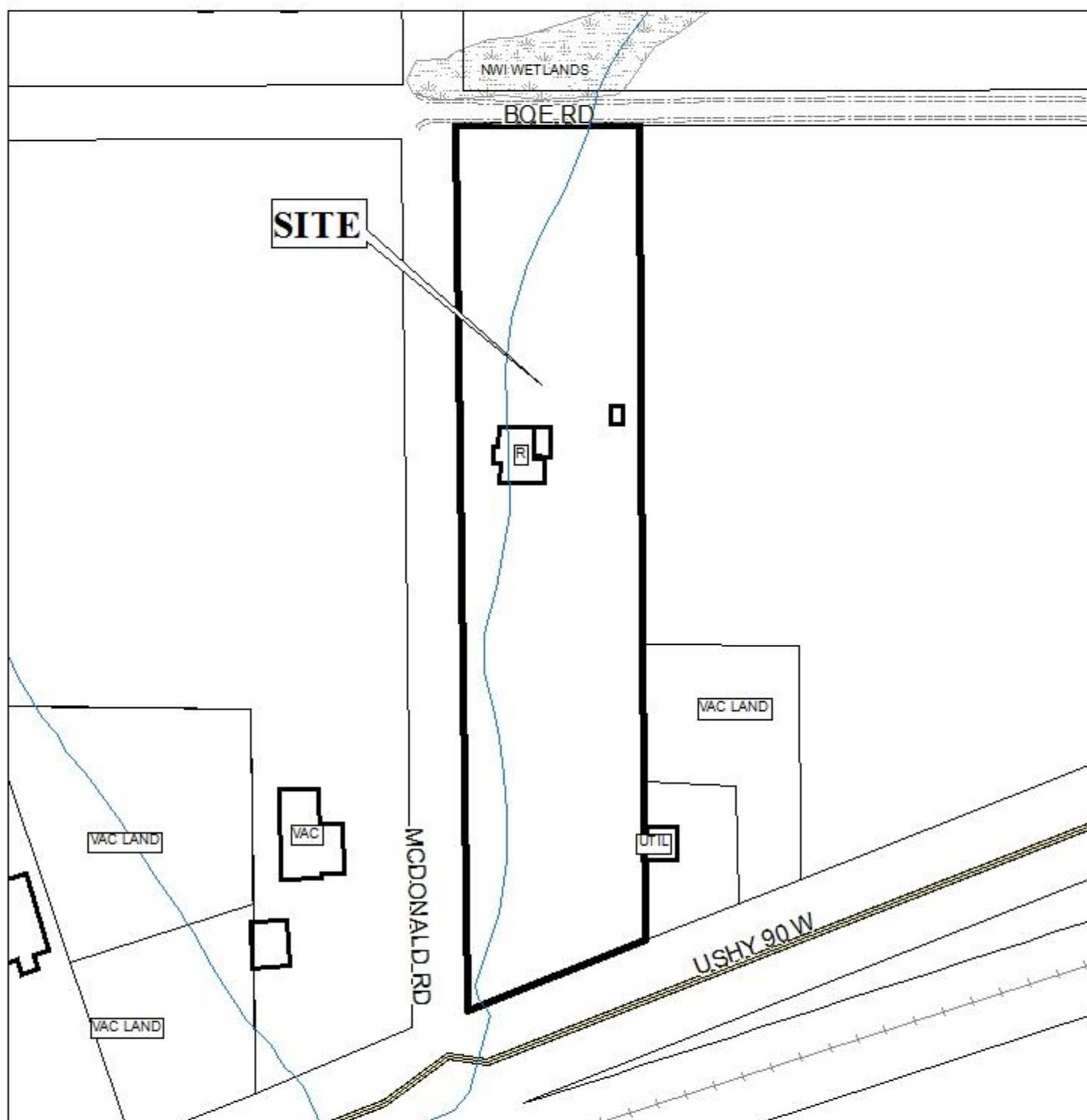
APPLICATION NUMBER 11 DATE August 6, 2015

APPLICANT Trovinger Subdivision

REQUEST Subdivision



TROVINGER SUBDIVISION



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|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B | B-2 | B-5 | MUN | SD-WH | T5.1 |
| R-1 | R-B | B-1 | B-3 | I-1 | OPEN | T3 | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD | T4 | T6 |

N
NTS

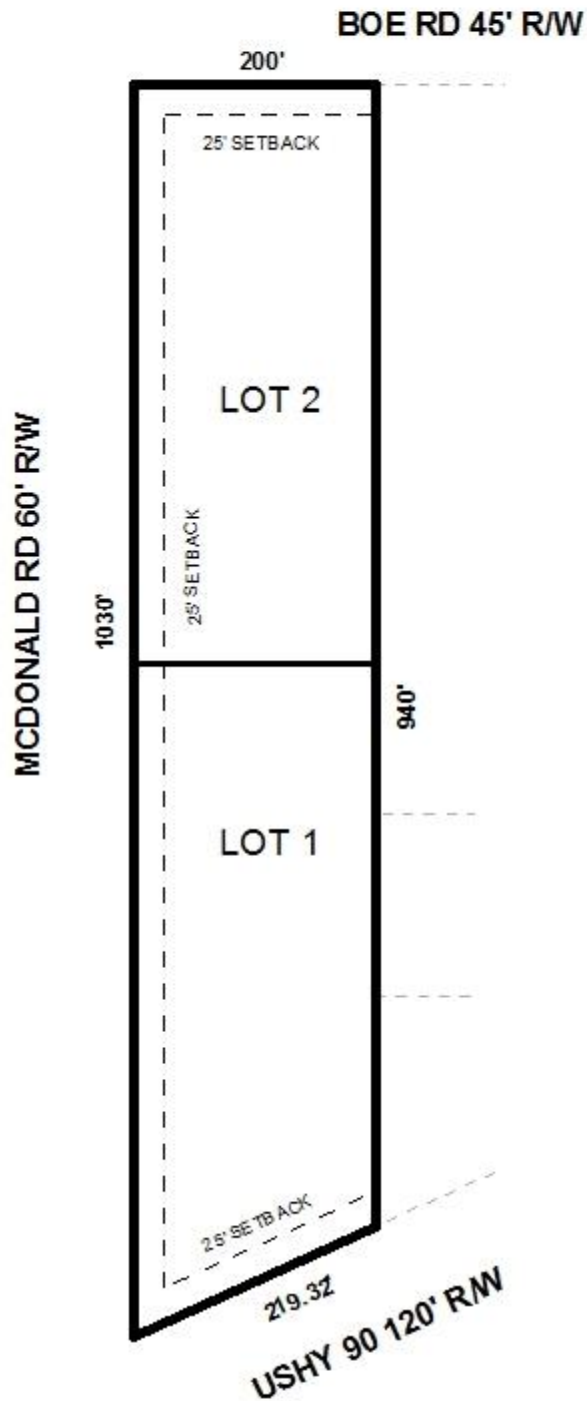
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SITE PLAN



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