

**TRINITY GARDENS SUBDIVISION,**  
**FOURTH ADDITION,**  
**RESUBDIVISION OF LOTS 591-592**

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer:

- a. Dedication of the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the corner of Carver Avenue and Jessie Street.
- b. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- c. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.
- d. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, unless a sidewalk waiver is approved.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** service until a Capacity application is approved by Volkert Engineering Inc.

The preliminary plat illustrates the proposed 2-lot, 0.4 ± acre subdivision which is located at the Southwest corner of Jessie Street and Carver Avenue, and is in Council District 1. The applicant states that the subdivision is served by public water and sewer.

The purpose of this application is to create 2 legal lots of record from two legal lots which are already developed.

In accordance with the Subdivision Regulations, the proposed lots are compliant with the minimum size requirements. The 25-foot minimum building setback line and lot size in square feet are illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

It should be pointed out that the current dwellings for each lot are not compliant with the minimum building setbacks. As a result, any new building construction will have to comply with all setbacks. A note reflecting this requirement should appear on the Final Plat, if approved. It should be pointed out that a note on the preliminary plat states:

*This drawing does not reflect any title, easement or right-of-way research other than what is readily visible on the surface or provided by the client.*

Per section IV.C.2.h of the Subdivision Regulations, all easements should be illustrated on the Final Plat along with a note stating that no permanent structures can be constructed in any easement, if approved.

The site has frontage along Jessie Street and Carver Avenue. Carver Avenue is a minor street which does not have curb or gutter, but does however, have a compliant 60' right-of-way. Jessie Street is a minor street with curb and gutter and has a compliant 50' right-of-way. As a means of access management, the proposed Lot 1 should be limited to the existing curb-cut along Carver Avenue and the proposed Lot 2 should be limited to the existing curb-cut along Jessie Street. Any changes to the size, design or location of the existing curb-cuts are to be approved by Traffic Engineering and conform to AASHTO standards.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 25-foot minimum setback line and lot size information on the Final Plat;
- 2) Illustration of all easements on the Final Plat along with a note stating: *(No permanent structures can be constructed in any easement);*
- 3) Placement of a note on the Final Plat limiting Lot 1 to the existing curb-cut along Carver Avenue and Lot 2 to the existing curb-cut along Jessie Street with any changes to the size, design or location of the existing curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species);*
- 5) Compliance with Engineering Comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Dedication of the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the corner of Carver Avenue and Jessie Street. b. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. c. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. d. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, unless a sidewalk waiver is approved.);*
- 6) Compliance with Traffic Engineering Comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards);*

- 7) Compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)); and*
- 8) Compliance with Fire Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

# LOCATOR MAP



APPLICATION NUMBER 11 DATE November 7, 2013

APPLICANT Trinity Gardens Subdivision, Fourth Addition, Resubdivision of Lots 591-592

REQUEST Subdivision



# TRINITY GARDENS SUBDIVISION, FOURTH ADDITION, RESUBDIVISION OF LOTS 591-592



APPLICATION NUMBER 11 DATE November 7, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1
													I-2





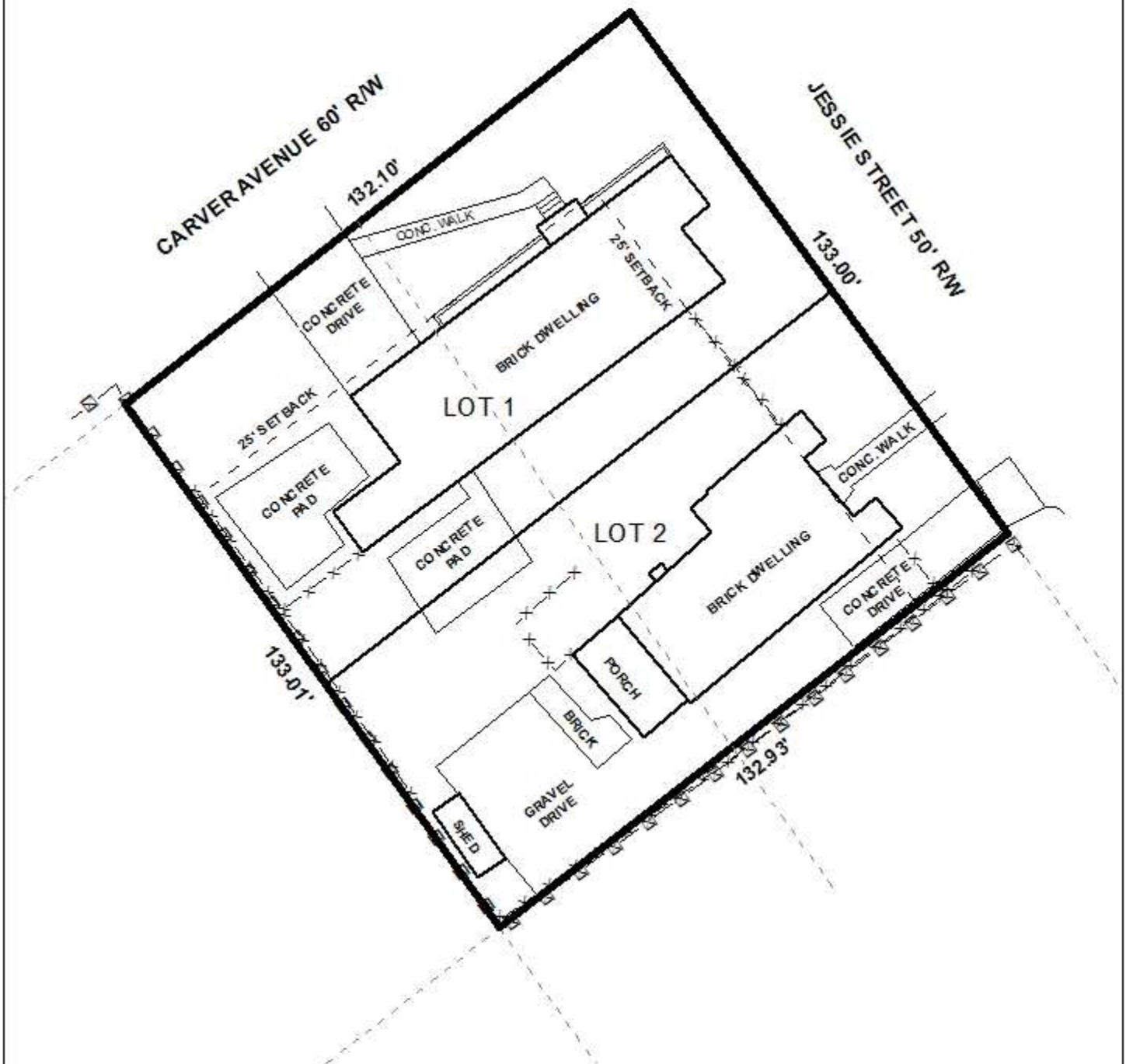
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## DETAIL SITE PLAN



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