

PLANNING APPROVAL STAFF REPORT

Date: August 7, 2003

APPLICANT NAME

Treasure Properties, Inc.
Richard Biseli, Agent

LOCATION

1757 and 1761 Spring Hill Avenue
(South side of Spring Hill Avenue, 215'± West of Louiselle Street)

PRESENT ZONING

B-1, Buffer Business

AREA OF PROPERTY

0.9± Acre

CONTEMPLATED USE

Bank.

TIME SCHEDULE FOR DEVELOPMENT

Immediate

ENGINEERING

COMMENTS

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Ingress and egress, and all work to be performed under the canopy of the trees to be coordinated with Urban Forestry for tree protection and preservation on city property. The 60' Live Oak is to be given preservation status, with alternative paving surfaces to be used on the south side, all work performed under the canopy of the tree to be coordinated with Urban Forestry

REMARKS

The applicant is proposing redevelopment of the site as a bank. The Zoning Ordinance allows banks in B-1 districts with Planning Approval, hence this application.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

The site is to be developed in conjunction with the properties adjacent to the East and South, and will have shared access and circulation. In order to accomplish the proposed redevelopment,

applications for rezoning to LB-2 (to allow a drug store on the property adjacent to the East), resubdivision (into three lots) and Planned Unit Development (to allow the shared access and internal circulation between all three lots) have already been presented to the Planning Commission. Those applications were considered by the Commission on July 10, 2003, and were approved subject to several conditions.

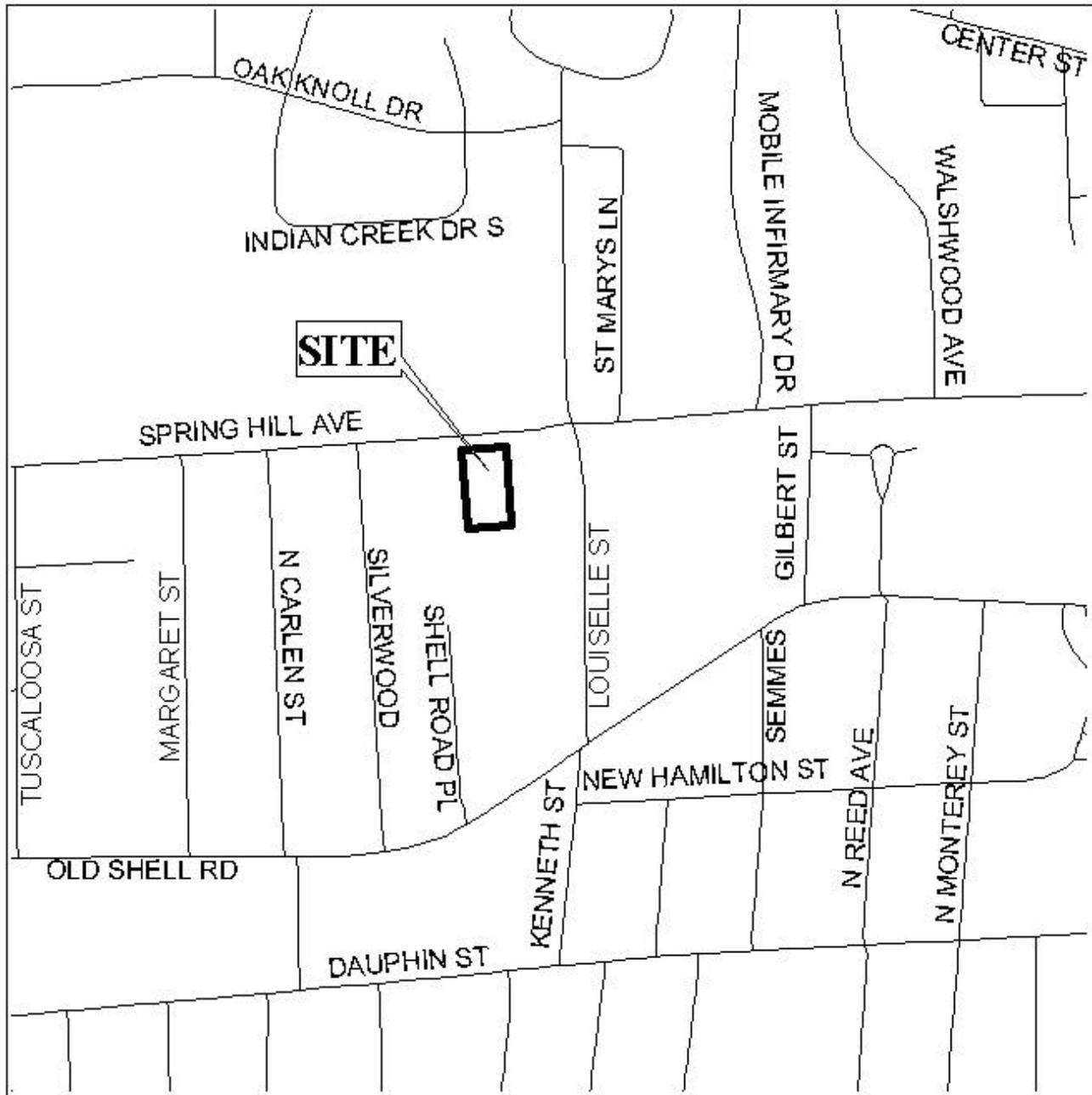
The application now before the Commission relates specifically to Lot 2, and is to allow the bank in a B-1 district. The omission of the Planning Approval application from the previous packet was an accidental oversight, and was not discovered until it was too late to add to the July 10th agenda and provide the required notification. Therefore, the application was submitted individually for the next available deadline.

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While Planning Approval is related to specific uses in certain zoning districts, and PUD approval is related to how the site is developed, the criteria for review is very similar. Generally, both reviews take into consideration location, access, traffic, and the appropriateness of the development in the area. As the overall site has received PUD approval, and the use of this lot as a bank was considered as a part of that application, the findings for Planning Approval should be similar.

RECOMMENDATION Based on the preceding, it is recommended that this application be approved, subject to the following conditions: 1) driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards; 2) compliance with previously approved PUD and Subdivision; 3) full compliance with Urban Forestry Comments (Ingress and egress, and all work to be performed under the canopy of the trees to be coordinated with Urban Forestry for tree protection and preservation on city property. The 60" Live Oak is to be given preservation status, with alternative paving surfaces to be used on the south side, all work performed under the canopy of the tree to be coordinated with Urban Forestry); 4) closure (including removal and installation of curbing and landscaping) of "abandoned" existing curb cuts; and 5) full compliance with all municipal codes and ordinances

LOCATOR MAP



APPLICATION NUMBER 11 DATE August 7, 2003
APPLICANT Treasure Properties, Inc. (Richard Biseli, Agent)
REQUEST Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



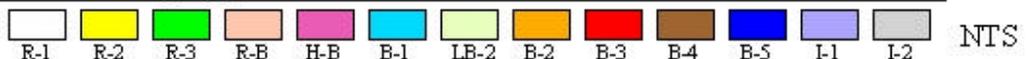
Located to the North of the site is a nursing home/rehabilitation facility; to the East is a medical office, single family residential dwelling, and a daycare. Located to the South and West of the site are single family residential dwellings, with a church to the West.

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LEGEND



SITE PLAN



The site is located on the South side of Spring Hill Avenue, 215' West of Louisele Street. The plan illustrates the proposed buildings and parking.

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USE/REQUEST Planning Approval



NTS