

THEODORE CHURCH OF GOD SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments available.

The preliminary plat illustrates the proposed 1-lot, 2.2 ± acre subdivision which is located on the north side of Theodore Dawes Road, 1085' ± east of Skyline Drive. The applicant states that the subdivision is served by public water and individual septic systems.

The intent of this application is to create one legal lot of record from two meets-and-bounds parcels. In accordance with the Subdivision Regulations, the proposed lot is compliant with the minimum lot size requirements. The 25-foot minimum building setback line and the lot size in square feet are illustrated on the preliminary plat and should be retained on the Final Plat.

The site fronts Theodore Dawes Road, a proposed major street with an existing right-of-way width of 80 feet, but is required to have a right-of-way width of 100 feet as illustrated in the Major Street Plan. As a result, the applicant has proposed dedication of 10 additional feet of right-of-way along Theodore Dawes Road, which is depicted on the preliminary plat and should be retained on the Final Plat.

It should be noted there is a landlocked parcel which abuts the proposed lot's northwest corner. The preliminary plat depicts a 10' easement for an existing private drive on the site's west side and will serve as ingress & egress for the landlocked parcel. The illustration of the easement should be retained on the Final Plat along with a note stating that no permanent structures shall be constructed in the easement.

The proposed lot has 4 existing curb-cuts along Theodore Dawes Road. As a means of access management, a note should be placed on the final plat limiting Lot 1 to no additional curb-cuts and any additional improvements to be coordinated with Mobile County Engineering. The size, location and design of any curb-cuts are to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat.

A note stating “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the final plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note should appear on the final plat to reflect this requirement.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) the lot size information and the 25-foot minimum building setback line should be retained on the final plat;
- 2) dedication of 10 feet of right-of-way along Theodore Dawes Road, as depicted on the preliminary plat;
- 3) the illustration of the 10-foot easement depicted on the site’s west side should be retained on the Final Plat along with a note stating that no permanent structures shall be constructed in the easement;
- 4) placement of a note on the Final Plat limiting Lot 1 to no additional curb-cuts along Theodore Dawes Road and any additional improvements to be coordinated with Mobile County Engineering with the size, location and design of curb-cuts to be approved by County Engineering and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating: “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits;”
- 6) placement of a note on the Final Plat stating: “The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;” and
- 7) placement of a note on the Final Plat stating: “This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.”

LOCATOR MAP



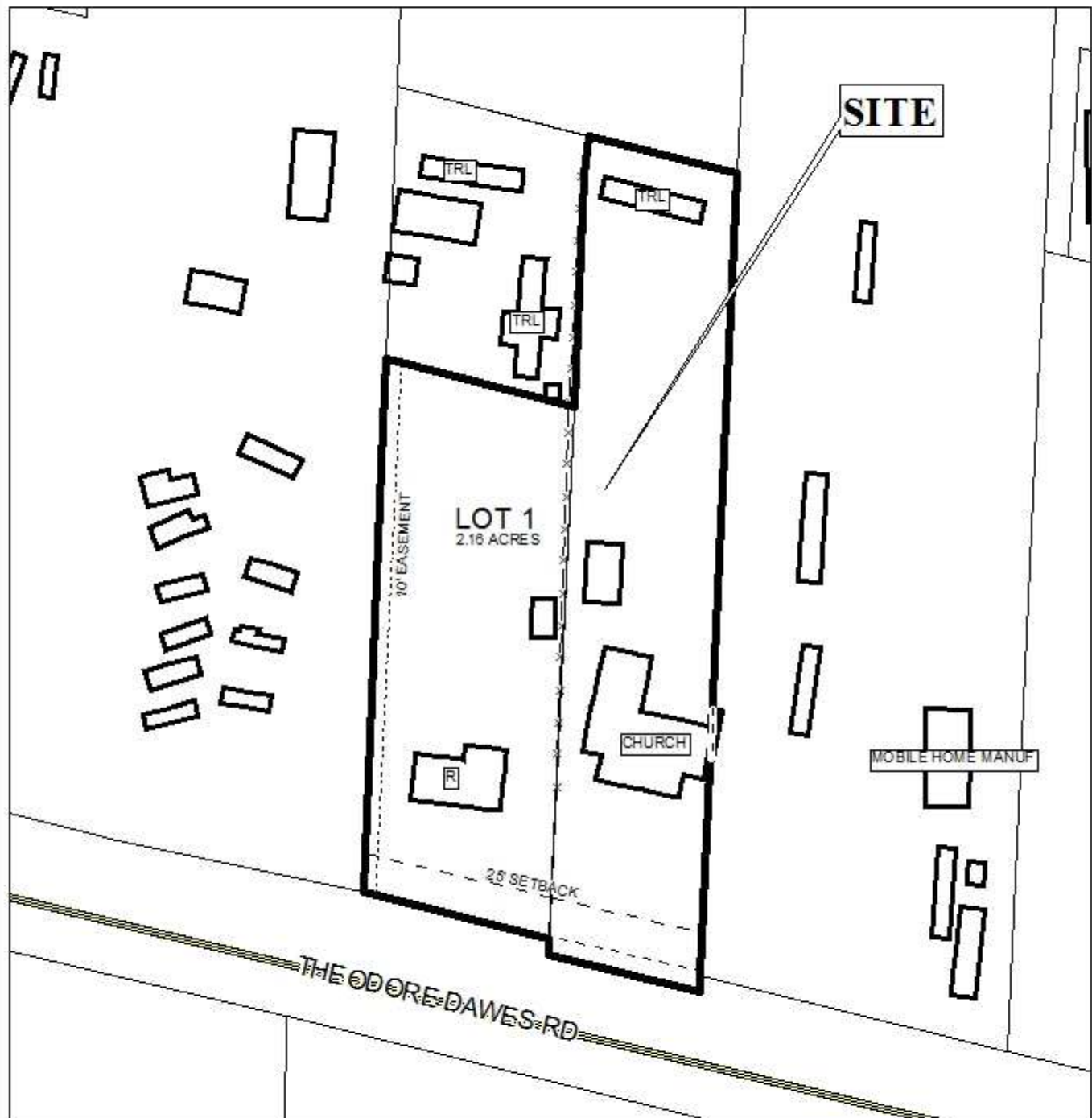
APPLICATION NUMBER 11 DATE July 11, 2013

APPLICANT Theodore Church of God Subdivision

REQUEST Subdivision



THEODORE CHURCH OF GOD SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

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