

**PLANNING APPROVAL &
SUBDIVISION STAFF REPORT****Date: March 9, 2017****DEVELOPMENT NAME**

St. Matthews II Subdivision

SUBDIVISION NAME

St. Matthews II Subdivision

LOCATION5901 Overlook Road
(South side of Overlook Road at the South terminus of
Carlisle Drive West).**CITY COUNCIL****DISTRICT**

District 7

AREA OF PROPERTY

3 Lots/9.3± Acres

CONTEMPLATED USEPlanning Approval to allow the operation of a church in an
R-1, Single-Family Residential District, and Subdivision
approval to create three legal lots of record.**TIME SCHEDULE****FOR DEVELOPMENT**

None given.

ENGINEERING**COMMENTS**

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide and label the monument set or found at each subdivision corner.
- C. Revise the signature block from "CITY OF MOBILE ENGINEERING" to "CITY ENGINEER".
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #69) LOTS may receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water

Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Final Plat from signatures.

- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planning Approval:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Each lot is limited to no more than two curbs cuts with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. For Planning Approval on Lot 1, any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS COMMENTS

No comments.

REMARKS

The applicant is requesting Planning Approval to allow the operation of a church in an R-1, Single-Family Residential District, and Subdivision Approval to create three legal lots of record from two metes-and-bounds parcels.

According to the recently adopted Map for Mobile Plan, the site is located within a Suburban Neighborhood. The intent of this Development Area includes:

- Emphasize connectivity to surrounding neighborhoods and close services and retail;
- Accommodation of pedestrian and bicycle traffic in addition to automobiles;
- Appropriate scaled infill development to complement existing character of neighborhoods.

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification. The Map for Mobile encourages connectivity and pedestrian friendly corridors and while the subject site is before the Commission for a Planning Approval and subdivision application, no work is proposed for the site.

The Western portion of the site is developed with an existing church and the remainder is vacant land. The church never went through Planning Approval prior to development. The area of proposed Lot 3 also was a church site, developed with Planning Approval in 1994, but the church was demolished in 2011 with permits and the site was left vacant. At the time of its development, Subdivision Approval was not required to establish a legal lot of record.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for Planning Approval.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The purpose of the subdivision request for this site is to create three legal lots of record from two metes-and-bounds parcels.

The preliminary plat illustrates the proposed 9.3± acre subdivision which is located on the South side of Overlook Road at the South terminus of Carlisle Drive West, in Council District 7. The applicant states that the subdivision is served by city water and sanitary sewer.

In accordance to the Subdivision Regulations, all lots exceed the minimum size requirements. The lot sizes in square feet and acres are illustrated on the preliminary plat and should be retained on the Final Plat, or a table should be furnished providing the same information. The site plan for the Planning Approval does not provide any lot size data for Lot 1. Therefore, the site plan should be revised to depict the lot size in both square feet and acres or there should be the furnishing of a table on the site plan providing the same information.

The site fronts Overlook Road, a minor street without curb and gutter but with a compliant 70' right-of-way. Therefore, no dedication would be required. The right-of-way width should be retained on both the Final Plat and a revised site plan.

As a means of access management, Lot 1 should be limited to the two existing curb-cuts to Overlook Road with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Lots 2 and 3 should also be limited to two curb cuts each, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Based upon the angled parking spaces, the traffic flow for the site would have to be one-way ingress from the Eastern drive and one-way egress from the Western drive. The site plan should be revised with a note stating such and to graphically illustrate such.

Both the preliminary plat and the site plan depict the 25-foot minimum building setback line and these should be retained on the Final Plat and a revised site plan.

In regards to tree and landscaping, since no exterior work is proposed at this time, full tree planting and landscaping compliance will be not required as this time.

As the existing church site will be adjacent to R-1 zoning on the East side, a protection buffer compliant with Section 64-4.D of the Zoning Ordinance will be required where the site abuts residentially zoned property. The site plan should be revised to reflect this requirement.

The church site is developed with two existing buildings connected via a covered walkway and a parking lot containing 67 parking spaces. The site plan does not provide parking calculations so it cannot be determined if the number of spaces provided meets the ratio of one parking space per four sanctuary seats. Thus the site plan should be revised to provide parking calculations for the church and revised to provide sufficient parking if currently lacking.

A dumpster is not indicated on the site plan, thus a note should be placed on the site plan indicating that garbage will be collected via curb side. If, however, a dumpster is required, the dumpster must be placed in compliance with Section 64-4.D.9. of the Zoning Ordinance compliance.

Due to the fact that there are two buildings on the church site, staff feels that a Planned Unit Development (PUD) application would be in order for that lot only. And no public sidewalk is indicated along Overlook Road. Therefore, the applicant should submit PUD and Sidewalk Waiver applications and have at least the PUD approved prior to the signing of the Final Plat for the Subdivision. If the Sidewalk Waiver is denied, the site plans for both the Planning Approval and PUD should be revised to indicate sidewalk installation to be provided.

It should be noted, if the site plan or scope of operations is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of the lot sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 2) retention of the right-of-way width of Overlook Road on the Final Plat;
- 3) placement of a note on the Final Plat stating that 1 is limited to the two existing curb-cuts to Overlook Road with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating that Lots 2 and 3 are limited to two curb cuts each, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating that the traffic flow on Lot 1 is limited to one-way ingress from the Eastern drive and one-way egress from the Western drive;
- 6) retention of the 25' minimum building setback line on the Final Plat;
- 7) submission and approval of a Planned Unit Development application prior to signing the Final Plat;
- 8) submission of a Sidewalk Waiver application prior to signing the Final Plat;
- 9) compliance with Engineering comments: *[FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide and label the monument set or found at each subdivision corner. C. Revise the signature block from "CITY OF MOBILE ENGINEERING" to "CITY ENGINEER". D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with*

Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the *City of Mobile, Alabama Flood Plain Management Plan (1984)*; and, the *Rules For Erosion and Sedimentation Control and Storm Water Runoff Control*. F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #69) LOTS may receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, *Storm Water Management and Flood Control*). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Final Plat from signatures. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.];

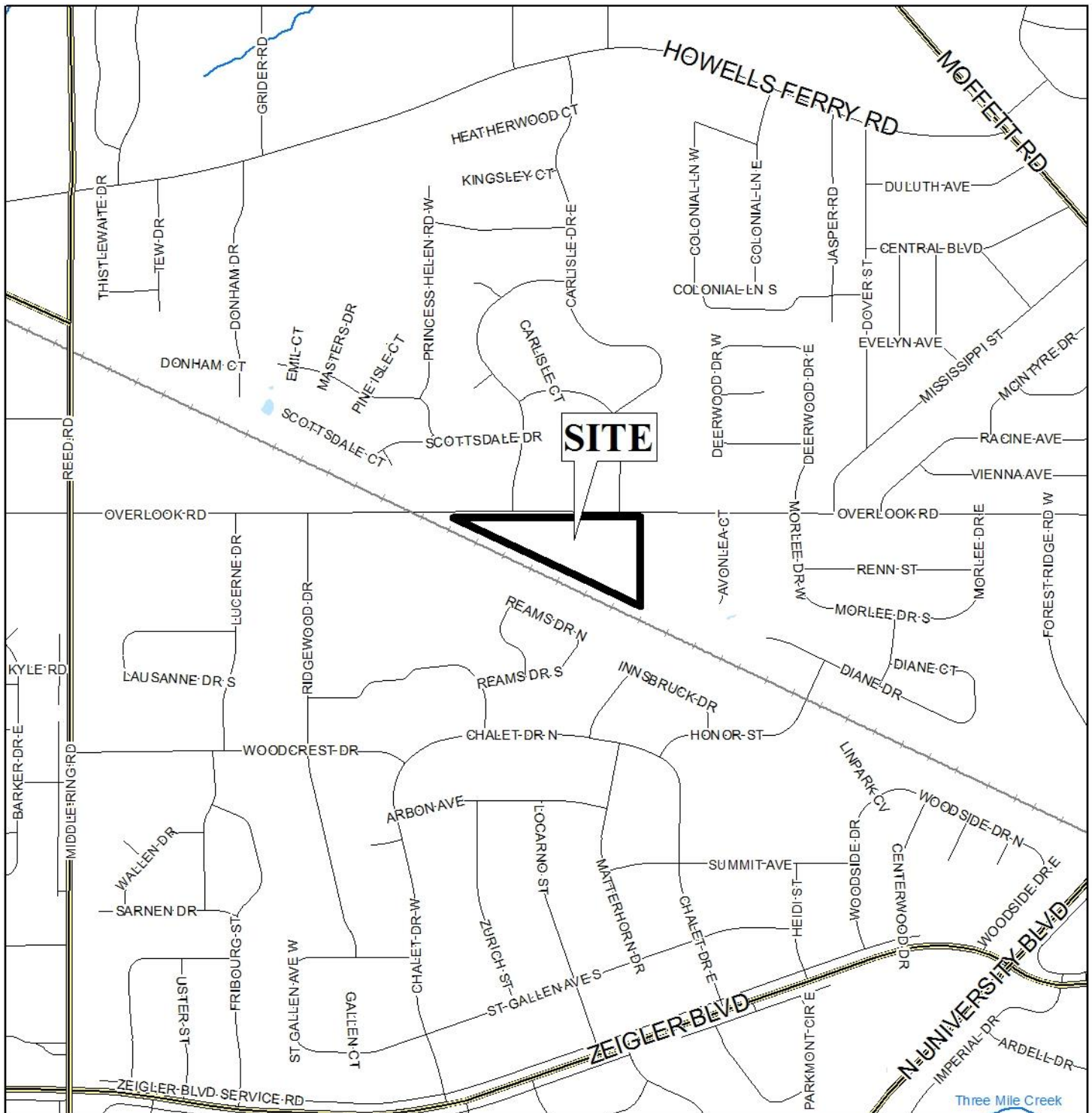
- 10) compliance with Traffic Engineering comments: *(Each lot is limited to no more than two curbs cuts with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);;*
- 11) compliance with Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).];*
- 12) compliance with Fire comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).]; and*
- 13) submission to and approval by Planning of two (2) copies of a revised Planning Approval site plan prior to the signing of the Final Plat.

Planning Approval: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) revision of the site plan to label the lot with its size in both square feet and acres, or the furnishing of a table on the site plat providing the same information;
- 2) retention of the right-of-way width of Overlook Road on the site plan;
- 3) placement of a note on the site plan stating that the site is limited to the two existing curb-cuts to Overlook Road with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the site plan stating that the traffic flow on Lot 1 is limited to one-way ingress from the Eastern drive and one-way egress from the Western drive, and revision of the site plan to graphically depict such;
- 5) retention of the 25' minimum building setback line on the site plan;
- 6) revision of the site plan to provide a protection buffer compliant with Section 64-4.D of the Zoning Ordinance where the site abuts residentially zoned property;

- 7) revision of the site plan to provide parking calculations for the church and revision to provide sufficient parking spaces if currently lacking;
- 8) placement of a note on the site plan stating that garbage will be collected via curb side or private can collection, or revision of the site plan to provide a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance;
- 9) submission and approval of a Sidewalk Waiver application or revision of the site plan to provide a public sidewalk in the event the Sidewalk Waiver is denied;
- 10) submission and approval of a Planned Unit Development application;
- 11) *compliance with the Engineering comments: [1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control]; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 12) *compliance with Traffic Engineering comments: (Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 13) *compliance with Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).];*
- 14) *compliance with Fire comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).];*
- 15) submission to and approval by Planning of two (2) copies of a revised Planning Approval site plan prior to the signing of the Final Plat for the Subdivision; and
- 16) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 11 DATE March 9, 2017

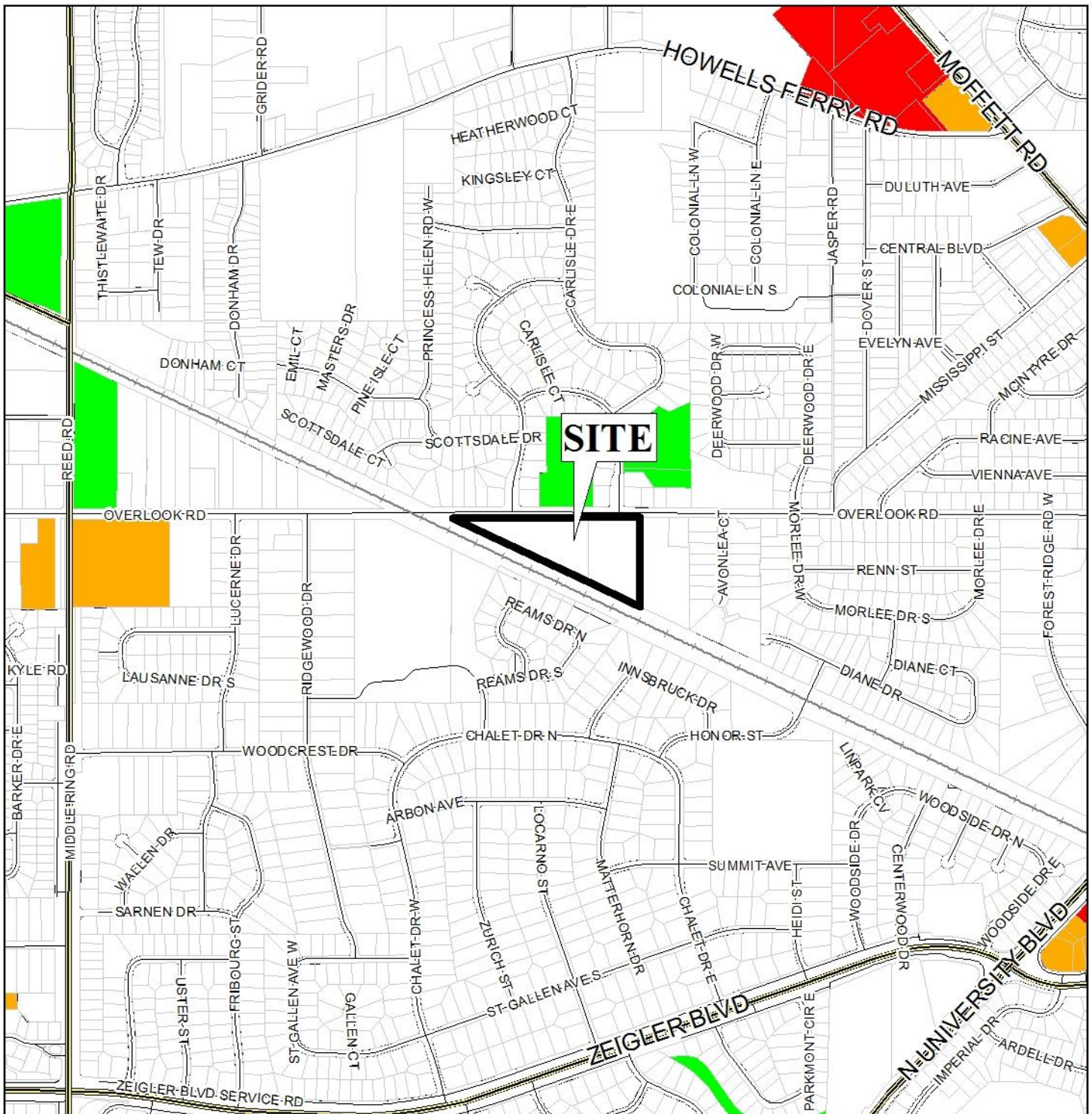
APPLICANT St. Matthew's II Subdivision

REQUEST Subdivision, Planning Approval



NTS

LOCATOR ZONING MAP



APPLICATION NUMBER 11 DATE March 9, 2017

APPLICANT St. Matthew's II Subdivision

REQUEST Subdivision, Planning Approval



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units. A school is located to the southwest.

APPLICATION NUMBER 11 DATE March 9, 2017

APPLICANT St. Matthew's II Subdivision

REQUEST Subdivision, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units. A school is located to the southwest.

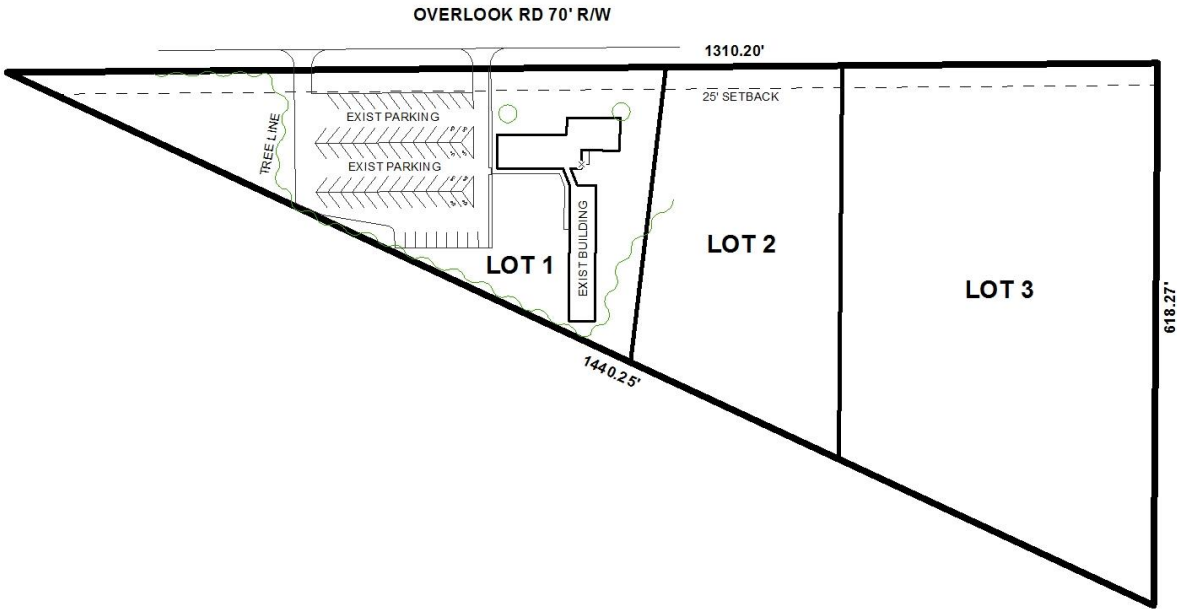
APPLICATION NUMBER 11 DATE March 9, 2017

APPLICANT St. Matthew's II Subdivision

REQUEST Subdivision, Planning Approval



SITE PLAN



The site plan illustrates the existing building, existing parking, setback, and proposed lot lines.

APPLICATION NUMBER 11 DATE March 9, 2017

APPLICANT St. Matthew's II Subdivision

REQUEST Subdivision, Planning Approval



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