

**PLANNED UNIT DEVELOPMENT**  
**STAFF REPORT****Date: May 15, 2003****DEVELOPMENT NAME**

Springhill Medical Complex, Inc.

**LOCATION**3719 Dauphin Street  
(South side of Dauphin Street, adjacent to the East side of Montlimar Creek Drainage Canal, extending to the West side of the West I-65 Service Road South, 180'± North of Springhill Memorial Drive North)**PRESENT ZONING**

B-1, Buffer-Business and B-3, Community Business

**AREA OF PROPERTY**

37± Acres

**CONTEMPLATED USE**

Amend a previously approved Planned Unit Development master plan for an existing hospital allowing shared parking between multiple building sites

**TIME SCHEDULE**  
**FOR DEVELOPMENT**

Immediate

**ENGINEERING****COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**REMARKS**

The applicant is amending an existing Planned Unit Development Master Plan to incorporate additional properties into the site, with shared access and parking.

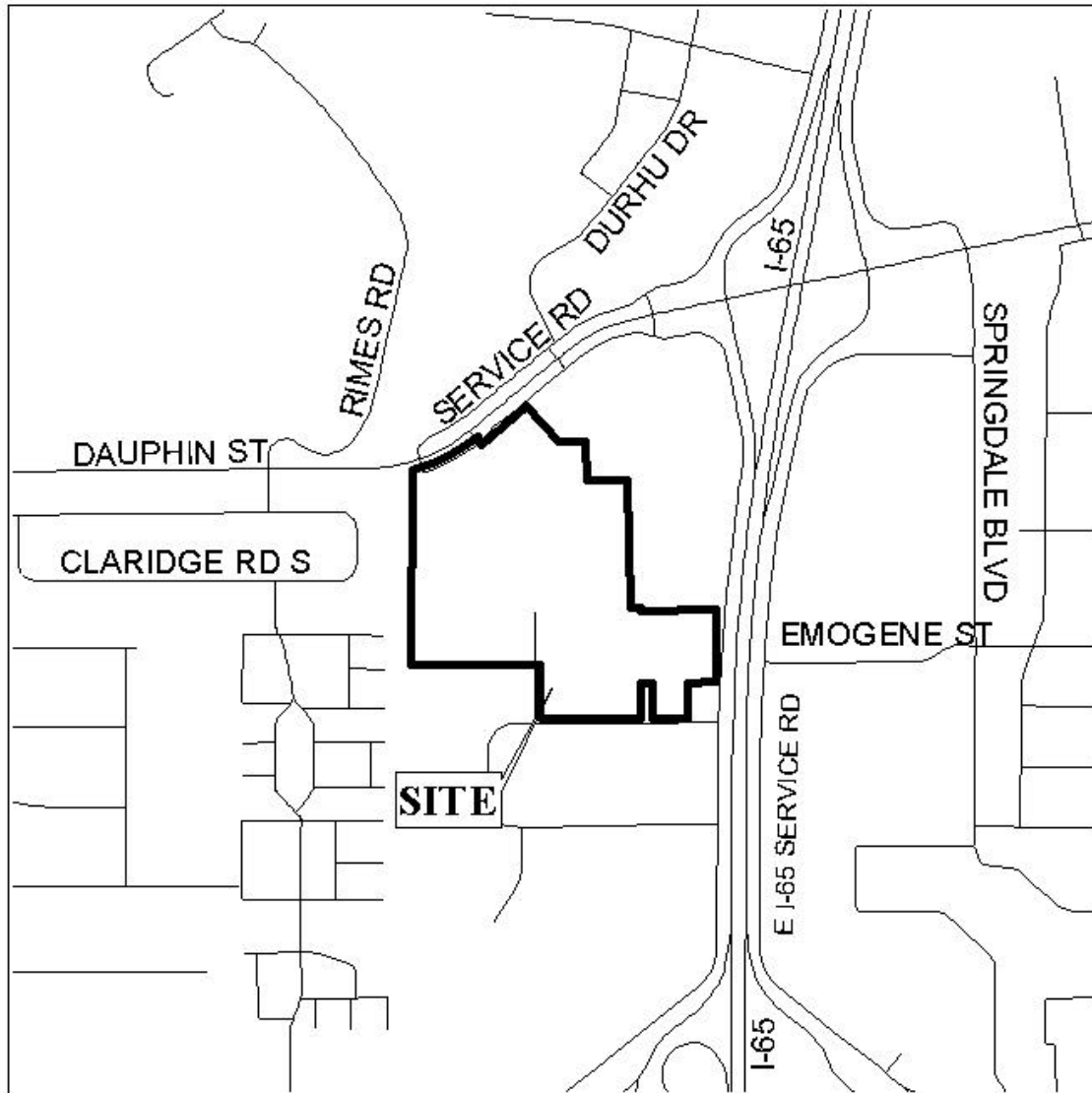
Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The purpose of the application is to incorporate a 176' x 180+' parcel along Springhill Memorial Drive North (see detail plan) into the PUD. A new 75,000 square foot building is currently under construction along West I-65 Service Road South, and cross access and parking with the adjoining lots is proposed. The new building, as well as the new parking area along Springhill Memorial Drive North will comply with the landscaping and tree planting requirements of the Ordinance.

The previous approval required the provision of sidewalks along all street frontages; therefore, either a sidewalk should be provided along Springhill Memorial Drive North and West I-65 Service Road South, or a sidewalks waiver should be required. Additionally, in compliance with the previous approval, all curb cuts should be approved by Traffic Engineering.

**RECOMMENDATION** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance; 2) provision of sidewalks along Springhill Memorial Drive North and West I-65 Service Road South, or the approval a sidewalk waiver; 3) that the location, number and design of all curb cuts be approved by Traffic Engineering; and 4) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



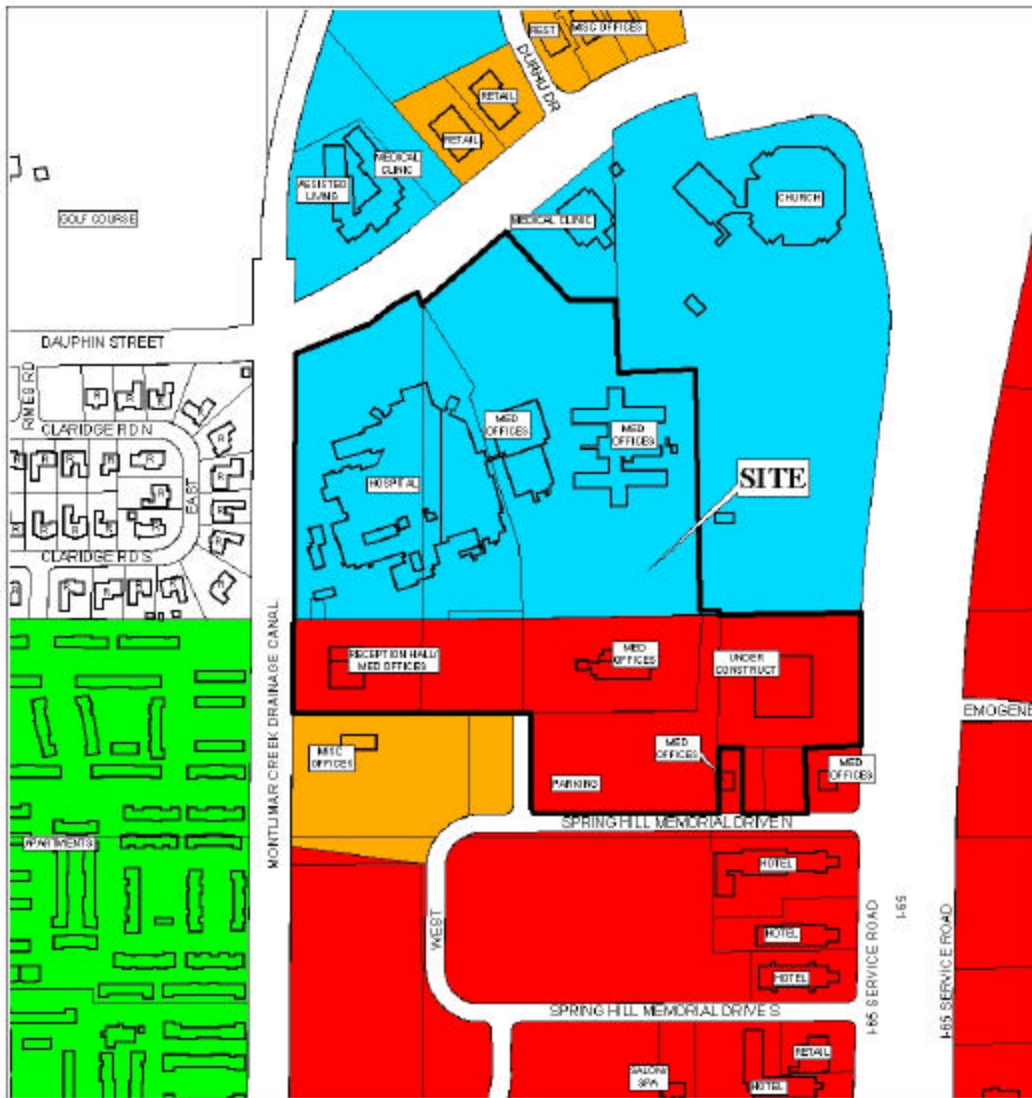
APPLICATION NUMBER 11 DATE May 15, 2003

APPLICANT Springhill Medical Complex, Inc.

REQUEST Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Located to the North of the site are miscellaneous retail, medical offices, and an assisted living facility; to the East is a church and medical office. Located to the South of the site are a hotel, medical office, and miscellaneous office; to the West are single and multiple family residential dwellings.

APPLICATION NUMBER 11 DATE May 15, 2003

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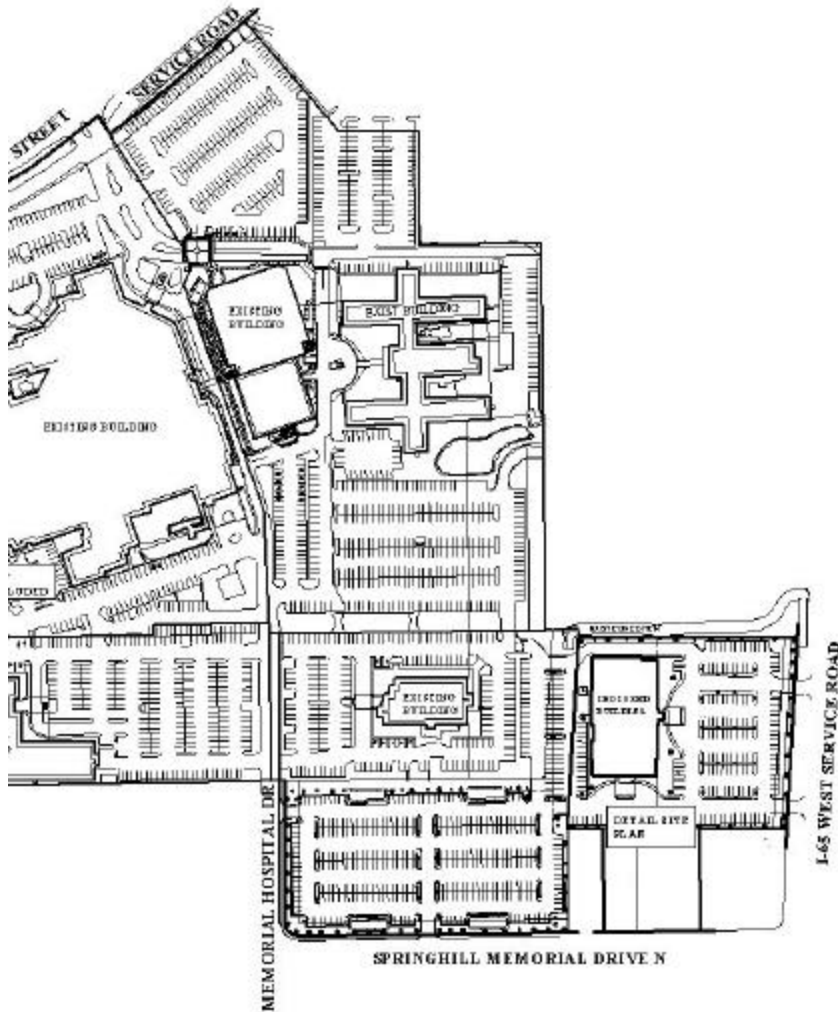
LEGEND



NTS



# SITE PLAN



located on the South side of Dauphin Street, adjacent to the East side of Creek Drainage Canal, extending to the West side of the West I-65 Service 1, 180' North of Springhill Memorial Drive North. The plan illustrates the structures and parking, along with the proposed structure and parking.

PROJECT NUMBER 11 DATE May 15, 2003

BY Springhill Medical Complex, Inc.

PROJECT Planned Unit Development



NTS

2' MIN SETBACK LINE

EXISTING LOT

OFF WAY

PROP. 75,000 SF BUILDING

PROP ASPHALT PEG

550.00'

540.00'

1-65 SERVICE ROAD

187.00'

176.19'

105.00'

176.16'

5' MIN SETBACK LOT

SPRINGHILL MEMORIAL DRIVE NORTH

EST Planned Unit Development

