

RENEA'S SECOND ADDITION TO JACKSON STREET

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide information showing the limits and boundary of LOT 1 and 2.
- C. Review and revise the written legal description to match the written bearings and distances. Many labels are too small to read.
- D. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of LOT 2.
- E. Show and label all flood zones.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- H. Provide the Surveyor's Certificate.
- I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- K. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- L. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- M. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Traffic Engineering Comments: Site is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until the Capacity application is approved by Volkert Engineering, Inc.

Map for Mobile Development Area(s) and Intent: Downtown

- Infill development that complements the existing character and enhances the pedestrian-friendly urban environment
- Fewer surface parking lots - more structured parking
- Increased streetscaping, including improved sidewalks, street furniture and lighting along corridors
- Greater mix of uses - retail, restaurant, office, residential

The plat illustrates the proposed 2-lot, 0.6± acre subdivision which is located on the Northeast corner of State Street and North Claiborne Street, within Council District 2. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to create 2 legal lots of record from 2 metes and bounds parcels and 1 legal lot of record.

The applicant states:

ATTACHMENT TO RENE A'S SECOND ADDITION TO JACKSON STREET

THE APPLICANT, PETER BURNS, IS PROPOSING TO PURCHASE THE NORTHERN PORTION OF 304 STATE STREET FROM MARINA S. TURNER AND INCORPORATE THAT PARCEL WITH THE OTHER PROPERTIES HE OWNS AT 255 JACKSON STREET. MR. & MRS. BURNS LIVE AT 255 JACKSON STREET AND HAS PLANS TO CONSTRUCT AN ADDITION TO THE EXISTING DWELLING. THE ADDITION WOULD GO NORTHWARDLY INTO THE VACANT LOT AND WOULD INCLUDE A GARAGE. THEY DO NOT WANT A DRIVE OR GARAGE IN THE YARD AREA FACING JACKSON STREET. THEY PROPOSE TO CONSTRUCT A DRIVE FROM CLAIBORNE STREET AND RUN EASTWARDLY INTO THE GARAGE IN THE NEW ADDITION AND EXIT BACK TO CLAIBORNE STREET. THEY WISH TO RETAIN THE EXISTING DRIVE ON JACKSON STREET TO BE USED FOR CONSTRUCTION AND ANY EMERGENCY USE.

The site is located within in the T-4 Subdistrict of the Downtown Development District (DDD). The DDD has specific requirements regarding the subdivision of property, and as it is a part of the Zoning Ordinance, not the Subdivision Regulations, this review will be primarily based upon the DDD requirements.

The proposed subdivision fronts Jackson Street, North Claiborne Street, and State Street. All are minor streets with curb and gutter. As a minor street, a 50' right-of-way width is typically required. The right-of-way width of Jackson Street and State Street, as indicated on the preliminary plat, reflects compliance with minor street standards and if approved, should be retained on the Final Plat. North Claiborne Street depicts a 40' right-of-way width on the preliminary plat. Previous subdivisions along North Claiborne Street, approved by the Planning

Commission, have not required right-of-way dedication: this includes property abutting the site. Therefore, right-of-way dedication should be waived for the request at hand. Corner radius dedication requirement, per Section V.D.6. of the Subdivision Regulations should be waived as well.

The proposed lots abut "B" streets, and the applicant must indicate which street will act as the primary frontage for each lot.

Property width requirements for a T-4, Mixed-Use, Low-Intensity Sub-District, are a minimum of 18' and a maximum of 120' per Section 64-3.I.8.(b).2 of the Zoning Ordinance. The property width is illustrated on the preliminary plat as 115'± for proposed Lot 1 on North Jackson Street, and 22 feet along North Claiborne Street. Lot 2 will have ±56' of street frontage on State Street and ±145' of frontage on North Claiborne Street and if approved, should be retained on the Final Plat.

A 5-foot minimum building setback line is depicted on the preliminary plat along Jackson Street. The DDD, per Section 64-4.I.8.(d), allows from 0' minimum -12' maximum setback along all street frontages. If approved, the Final Plat should be revised to illustrate a 12' maximum building setback line along Jackson Street, Claiborne Street and State Street, with a note stating a 0' minimum is allowed.

The DDD requires 20' parking setback in T-4 Sub-districts per Section 64-3.I.8.(d) of the Zoning Ordinance. If approved, placement of a note on the Final Plat indicating that any parking will be 20' from the street property line will be required.

The proposed lot exceeds the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The preliminary plat provides the lot sizes in square feet and acres, and if approved, this information should be retained on the Final Plat as well.

There is a 10' driveway width requirement within front setback along primary frontages within T-4 Sub-districts, per Section 64-3.I.11.(c)(3) of the Zoning Ordinance. The preliminary plat illustrates the driveway as being 13' in width. If approved, the driveway width should be revised to indicate a maximum of 10' on the Final Plat.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that the proposed lots are limited one curb cut each per street frontage, with any changes in the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

New construction must comply with the frontage requirements of Section 64-3.I.15 of the Zoning Ordinance. Approved frontage types for T-4 sub-districts are limited to Lawn, Terrace, Stoop, Common Entry and Shopfront.

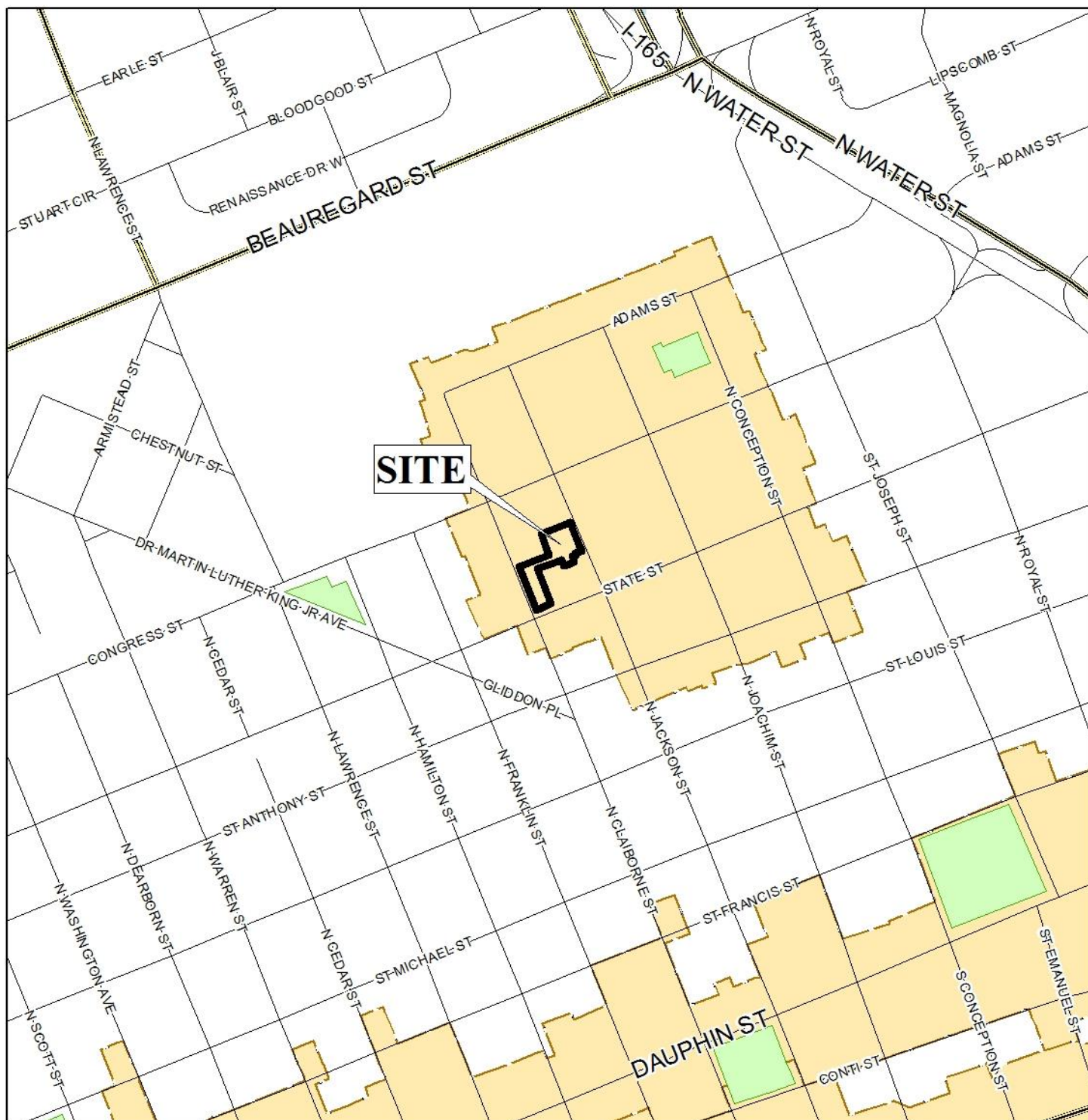
It should also be noted that this property is located in the Downtown Development District and as well as the Historic district, DeTonti Square. Any future development to this site will require Architectural Review Board (ARB) and Consolidated Review Committee (CRC) approval.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of building setbacks to reflect a maximum building setback line of 12' along all streets;
- 2) Placement of a note stating that a 0' minimum building setback is allowed;
- 3) Placement of a note stating that parking must be setback 20' from the property line;
- 4) Revision of driveway width along Claiborne Street to allow a maximum pavement width of 10';
- 5) Retention of the lot size information on the Final Plat to be depicted in square feet and in acres;
- 6) Placement of a note on the Final Plat stating that each proposed lot is limited to one curb cut each per street frontage, with any changes in the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.
- 7) Compliance with Engineering comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide information showing the limits and boundary of LOT 1 and 2. C. Review and revise the written legal description to match the written bearings and distances. Many labels are too small to read. D. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of LOT 2. E. Show and label all flood zones. F. Provide and label the monument set or found at each subdivision corner. G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. H. Provide the Surveyor's Certificate. I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. K. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. L. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. M. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*)
- 8) Compliance with Traffic Engineering comments (*Site is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.*);
- 9) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*); and

- 10) Compliance with Fire Department comments and placement of a note (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*)

LOCATOR MAP



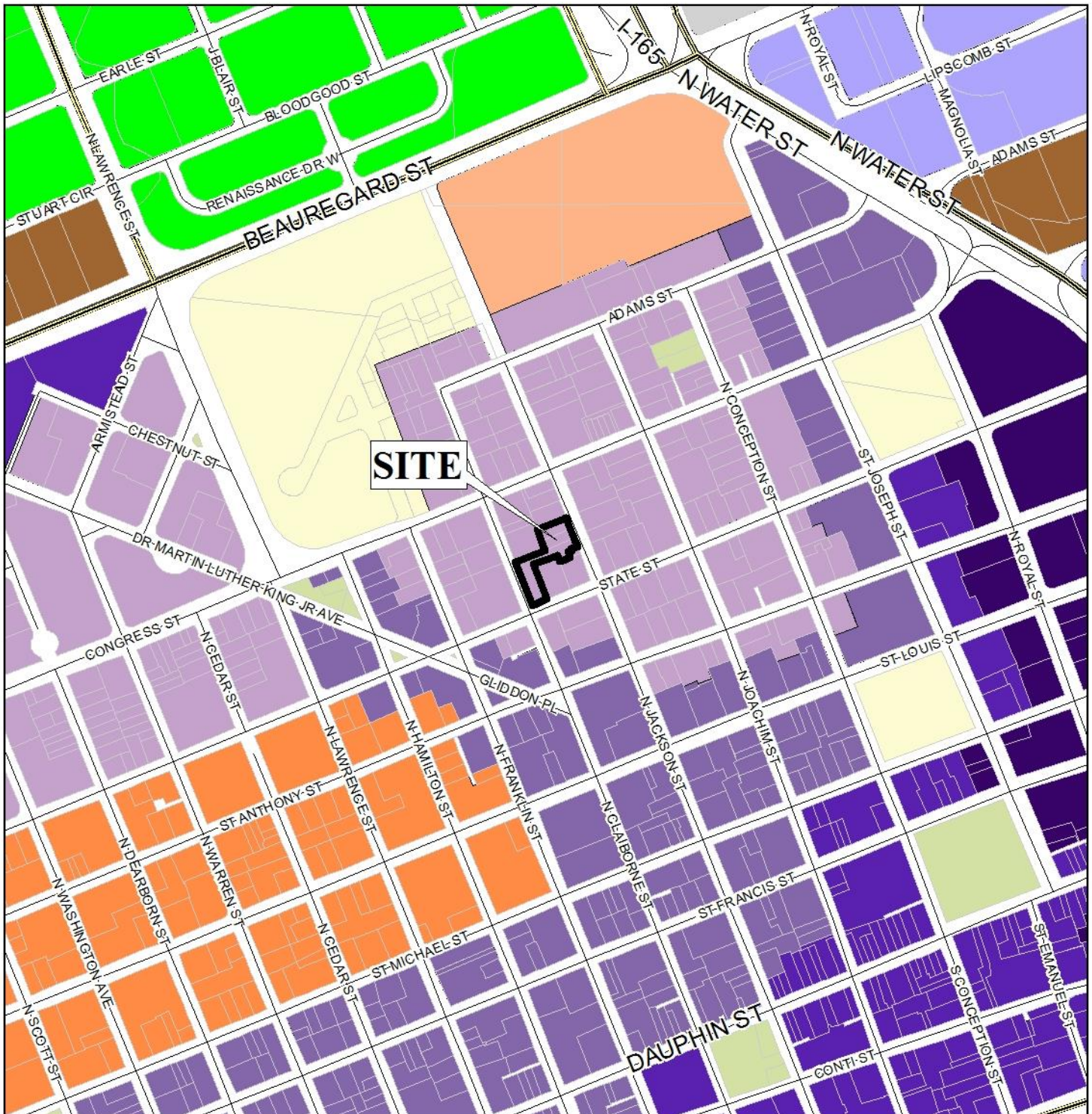
APPLICATION NUMBER 11 DATE December 1, 2016

APPLICANT Jackson Street Subdivision, Renea's Second Addition

REQUEST Subdivision



LOCATOR ZONING MAP



APPLICATION NUMBER 11 DATE December 1, 2016

APPLICANT Jackson Street Subdivision, Renea's Second Addition

REQUEST Subdivision



JACKSON STREET SUBDIVISION, RENEA'S SECOND ADDITION



APPLICATION NUMBER 11 DATE December 1, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



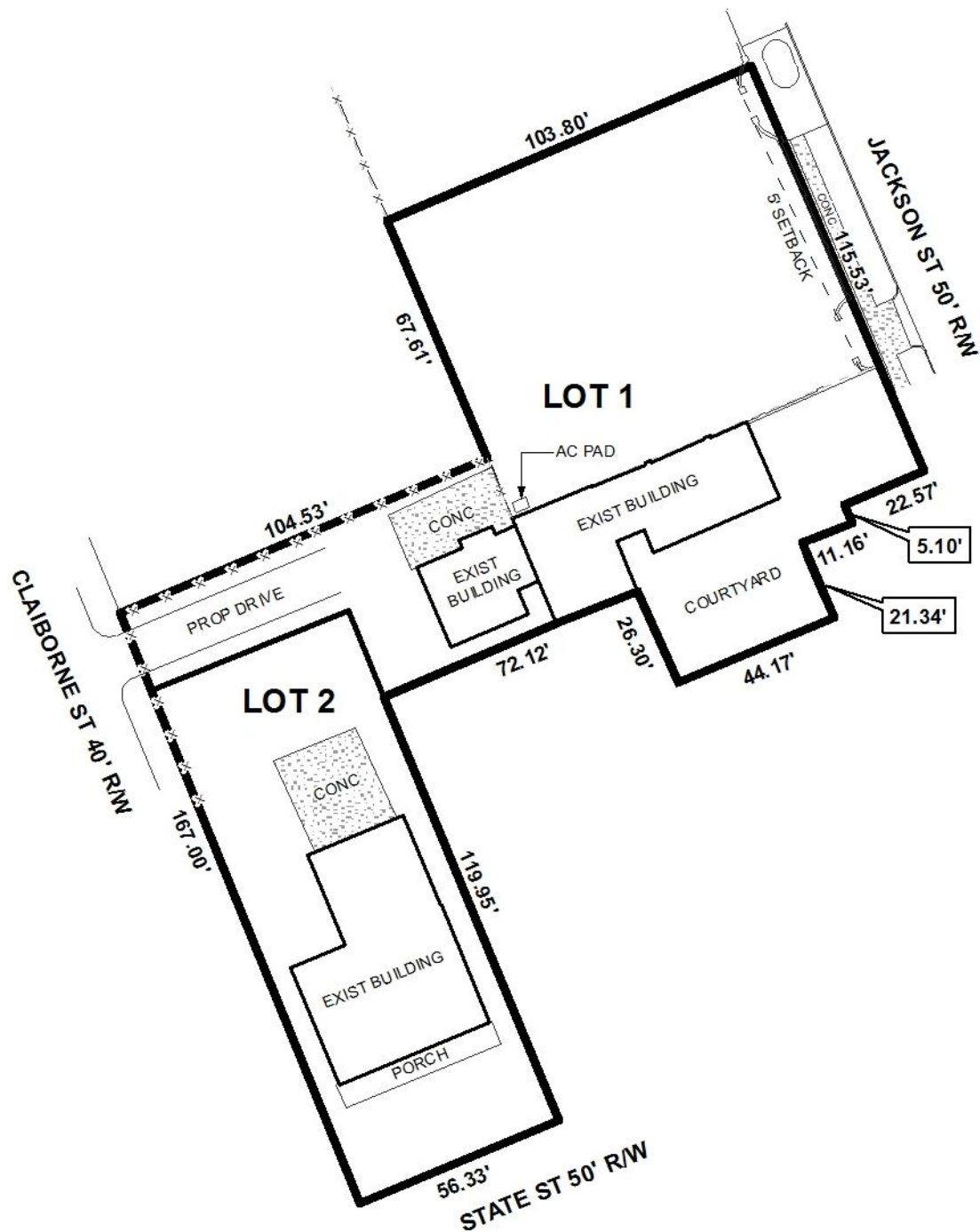
JACKSON STREET SUBDIVISION, RENEA'S SECOND ADDITION



APPLICATION NUMBER 11 DATE December 1, 2016



DETAIL SITE PLAN



APPLICATION NUMBER 11 DATE December 1, 2016
 APPLICANT Jackson Street Subdivision, Renea's Second Addition
 REQUEST Subdivision

