

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: April 16, 2015****DEVELOPMENT NAME**

Rangeline Business Park, LLC

LOCATION

North and South sides of Abigail Road, 495'± East of Rangeline Road.

**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

I-1, Light Industry District

AREA OF PROPERTY

15.51± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow substandard access and maneuvering to include a 20' wide gate and 20' wide driveway and a 6' high privacy fence for a potential laydown yard for future tenants.

**TIME SCHEDULE
FOR DEVELOPMENT**

Not specified.

**ENGINEERING
COMMENTS**

PLAN:

ADD THE FOLLOWING NOTES TO THE PUD SITE

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow substandard access and maneuvering to include a 20' wide gate and 20' wide driveway and a 6' high privacy fence for a potential laydown yard for future tenants.

This site most recently appeared before the Planning Commission at its February 4, 2010 meeting where the Commission approved a 17-lot subdivision - an apparent continuation of a previous subdivision which was approved by the Commission in July 2008. Per the applicant's narrative, the original Rangeline Business Park, Unit 1 was designed and developed prior to annexation and based on pre-annexation requirements. The applicant now requests to reduce development requirements for the remainder of the vacant lots.

It should be pointed out that variances have been approved for 3 lots within this subdivision by the Board of Zoning Adjustment. The approved variances allowed a 6' high wooden privacy fence for laydown yards and reduced access and maneuvering areas less of 20' in width. Instead of multiple variance requests at the time of development of each lot, it was recommended that the applicant submit a PUD application for the entire site, hence the current application at hand.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure

adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The Zoning Ordinance requires a minimum 24' wide entrance drive and gate clearance, a 24' wide maneuvering area, and requires an 8' high wooden privacy fence or wall around a lay down yard.

As proposed, each lot will be accessed via a 20' wide driveway. A 20' wide gate will provide access to a potential laydown yard which will be enclosed by a 6' high wooden privacy fence. It appears that a brick wall will be constructed on the street-facing side of the laydown yard that is parallel to Abigail Drive; however, the applicant did not specify the height.

It should be pointed out that Lots 10-15 abut residentially developed property. Although typical residential buffering may consist of a standard 6' high wooden privacy fence, given the nature of a laydown yard, the 8' privacy fence that is required for laydown yards may be more appropriate for residential buffering and help mitigate any adverse effects the PUD may have on adjacent residential areas.

The applicant states that traffic volume will be extremely low, given the type of businesses that will occupy the lots and will be limited to employees and occasional visitors and deliveries. The applicant also mentions there would not appear to be any negative impact on the surrounding area nor will any safety issues be created.

A typical site layout was included with the application. There appears to be sufficient room to develop each site in a manner compliant with City regulations. While the developer does not anticipate 18-wheelers serving the development, as each lot is sold, control as to the use of the property will be lost by the developer. Thus, it would be prudent to anticipate the changing needs of property owners and construct the remainder of the development with compliant access and buffering.

Full commercial site compliance with all municipal codes and ordinances will be required for the development of each lot, to include the provision of residential buffering, trees and landscaping, site lighting, signage, a compliant dumpster, and setbacks to comply with the underlying setbacks of an I-1, Light Industry District.

RECOMMENDATION

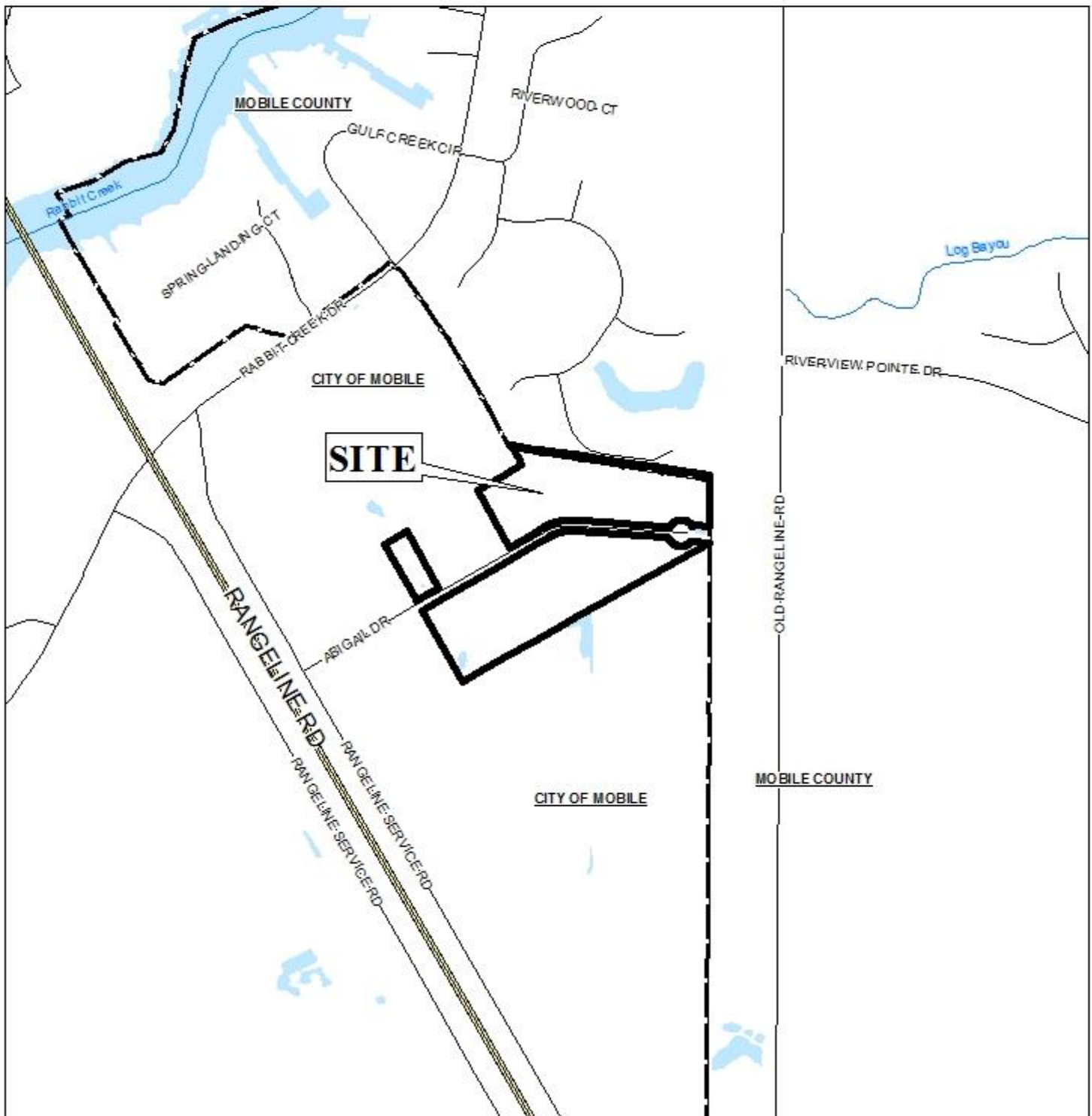
The application is recommended for approval, subject to the following conditions:

- 1) Provision of an 8' high wooden privacy fence along all property lines that abut residentially developed property;
- 2) Compliance with Engineering Comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping*

will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);

- 3) Compliance with Traffic Engineering Comments: (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 4) Compliance with Urban Forestry Comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 5) Compliance with Fire Department Comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 6) Any alterations of the approved PUD site plan will require new PUD applications; and*
- 7) Full compliance with all municipal codes and ordinances.*

LOCATOR MAP



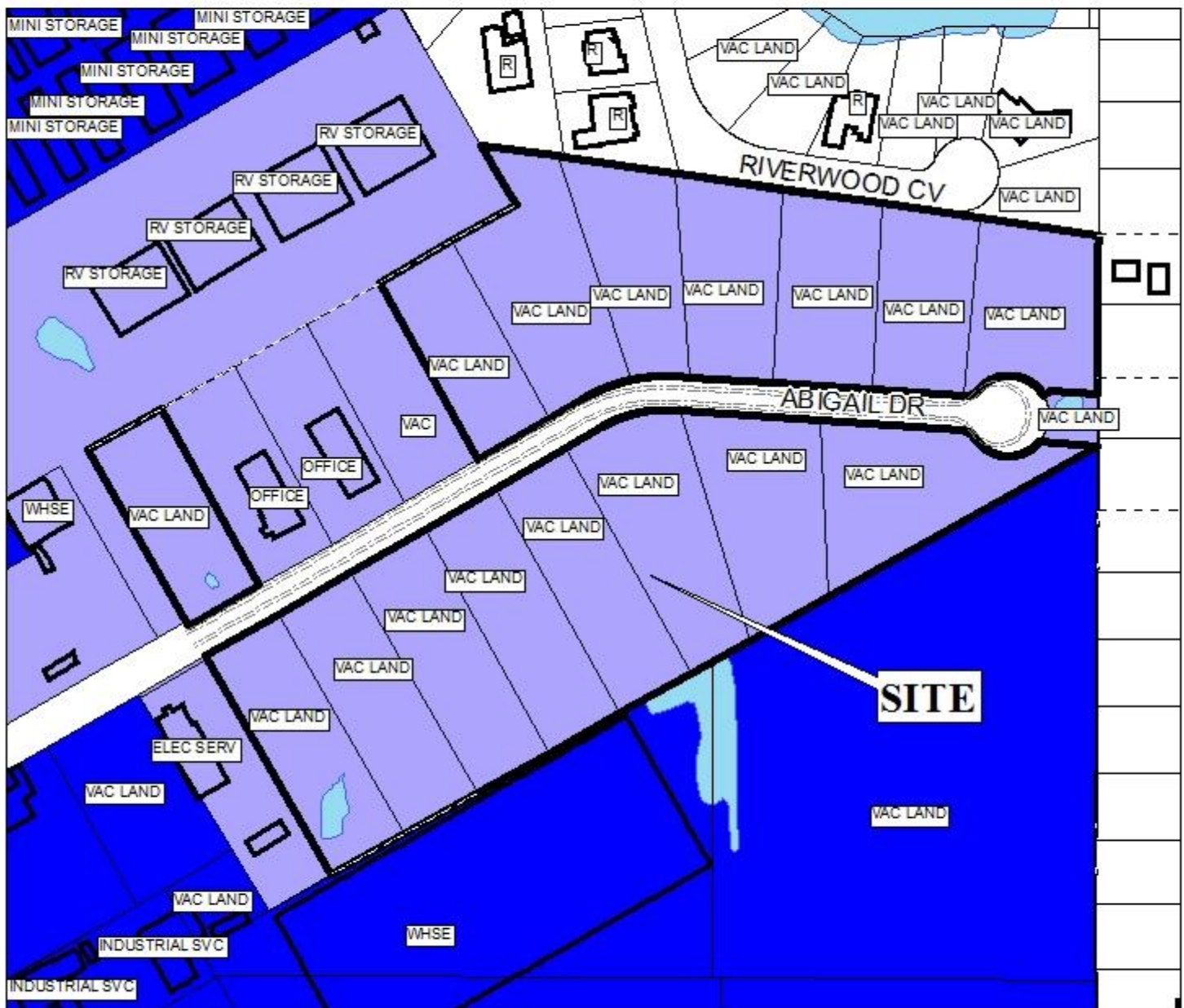
APPLICATION NUMBER 11 DATE April 16, 2015

APPLICANT Rangeline Business Park, LLC

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and industrial units. Storage units are located to the northwest of the site.

APPLICATION NUMBER 11 DATE April 16, 2015

APPLICANT Rangeline Business Park, LLC

REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and industrial units. Storage units are located to the northwest of the site.

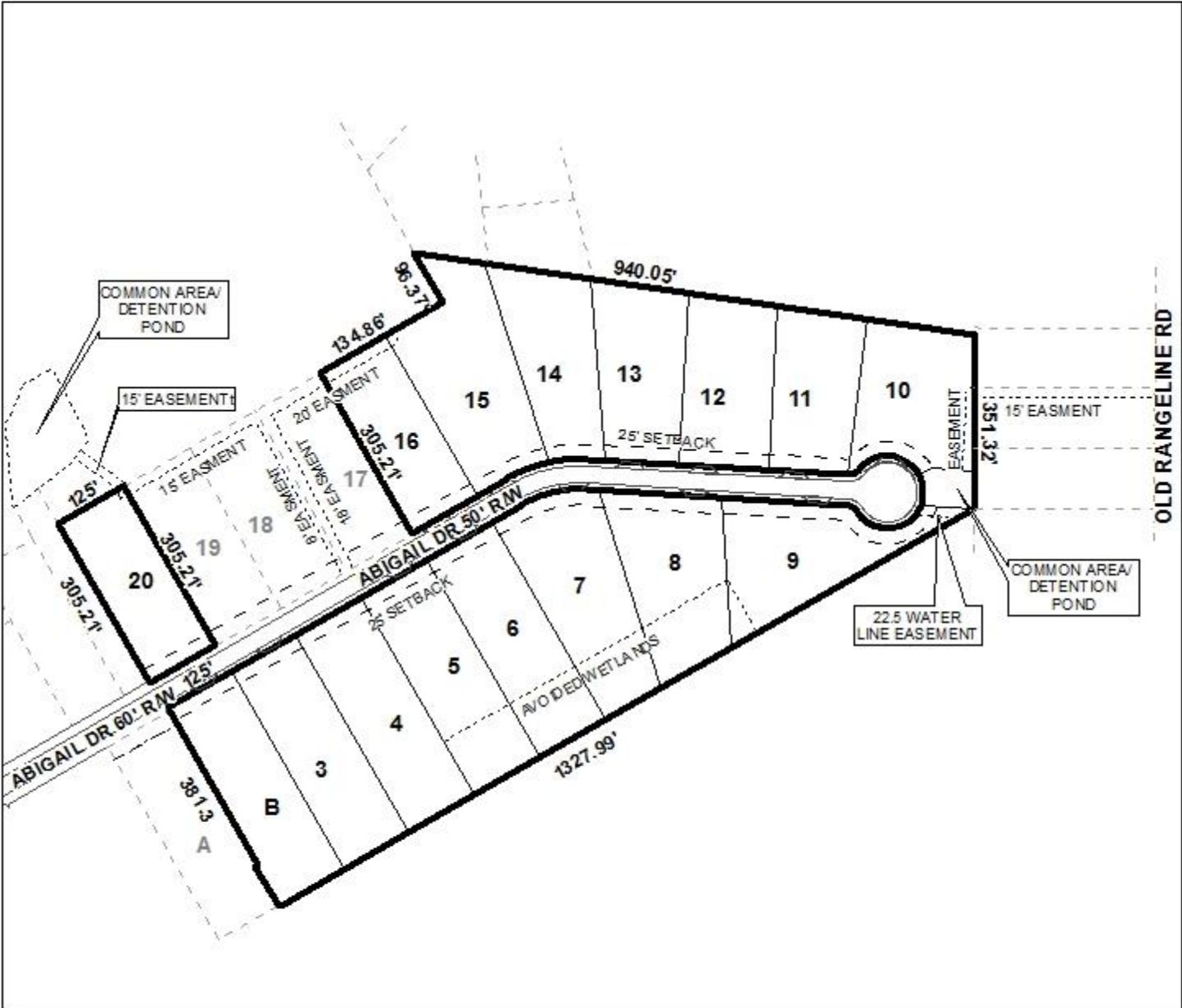
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SITE PLAN

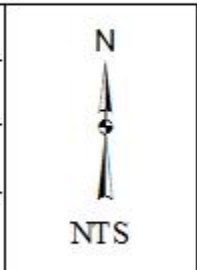


The site plan illustrates the lots, setbacks, easements, and wetlands.

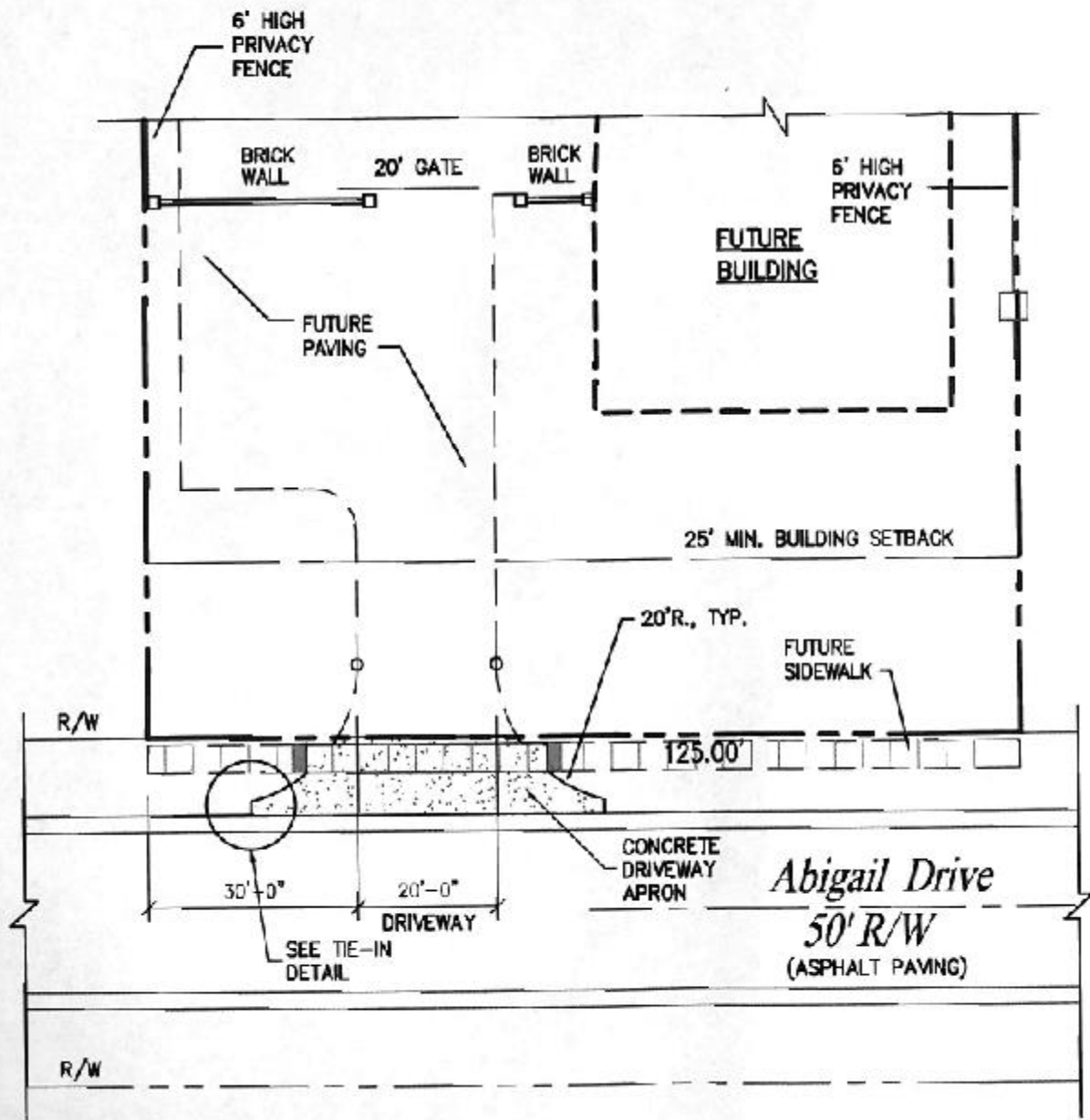
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DETAIL SITE PLAN



DRIVEWAY LOCATION
ENLARGED PLAN (TYP)
 SCALE: 1" = 20'

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