

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: March 1, 2007**

<u>DEVELOPMENT NAME</u>	Paul Person
<u>LOCATION</u>	4474 Halls Mill Road (North side of Halls Mill Road, 4/10mile \pm West of the North terminus of Riviere du Chien Road)
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>PRESENT ZONING</u>	B-3, Community Business
<u>AREA OF PROPERTY</u>	5.3 \pm Acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow multiple buildings on a single building site.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<u>REMARKS</u>	The applicant is requesting Planned Unit Development Approval to allow a 4,000 square foot warehouse on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to

consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The site in question was created by an approved one lot subdivision in November, 1999. Since that time, two buildings have been developed on the site, one of which appears to have been developed without building permits. Additionally, the gravel paving associated with the potentially illegal structure does not meet the minimum requirements of the Zoning Ordinance. However, limestone may be allowed provided the applicant provides information on the use of the lay-down yard, and that no parking will be allowed within the enclosed lay-down yard.

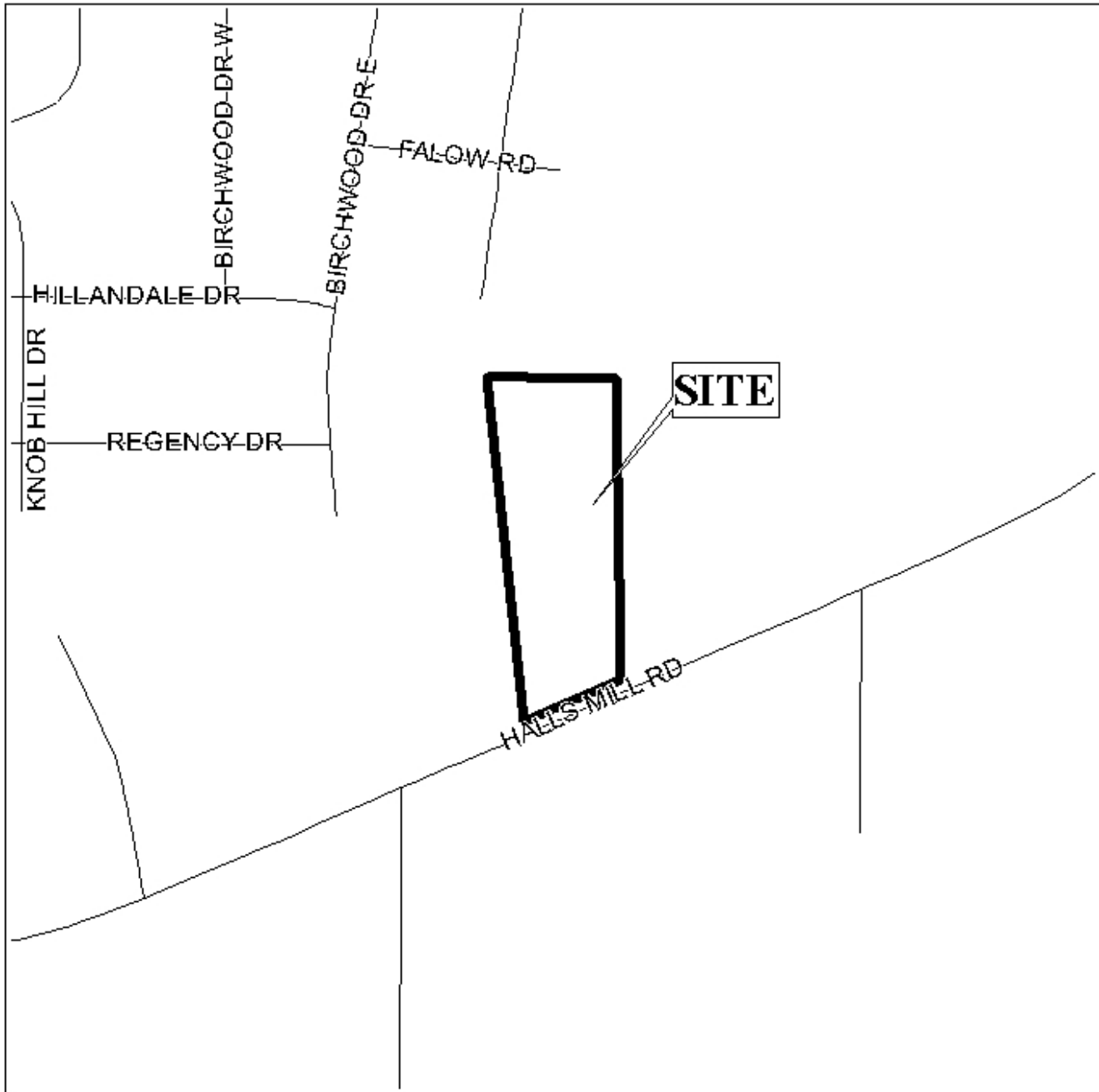
Previously Planned Unit Development (PUD) , Rezoning and Subdivision applications were submitted to the Commission requesting PUD Approval to allow multiple buildings on a single building site with shared access between three building sites, subdivision Approval to create three lots, and Rezoning from B-3, community business, to B-3, Community Business, to amend a buffer strip condition of the previous rezoning. However, these applications were withdrawn at the applicant's request.

The plan illustrates the existing and proposed buildings, landscaping and green area, 10 parking spaces, the location of dumpsters, and limestone area within the lay-down yard for pipe storage.

As the site adjoins residentially zoned property to the North, a protection buffer in compliance with Section 64-4.D is required if the adjacent property is developed as Single-Family residential.

RECOMMENDATION Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) the provision of a protection buffer along the West side property line in compliance with Section 64-4.D if the adjacent property is developed as Single-Family residential; and 2) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 11 DATE March 1, 2007

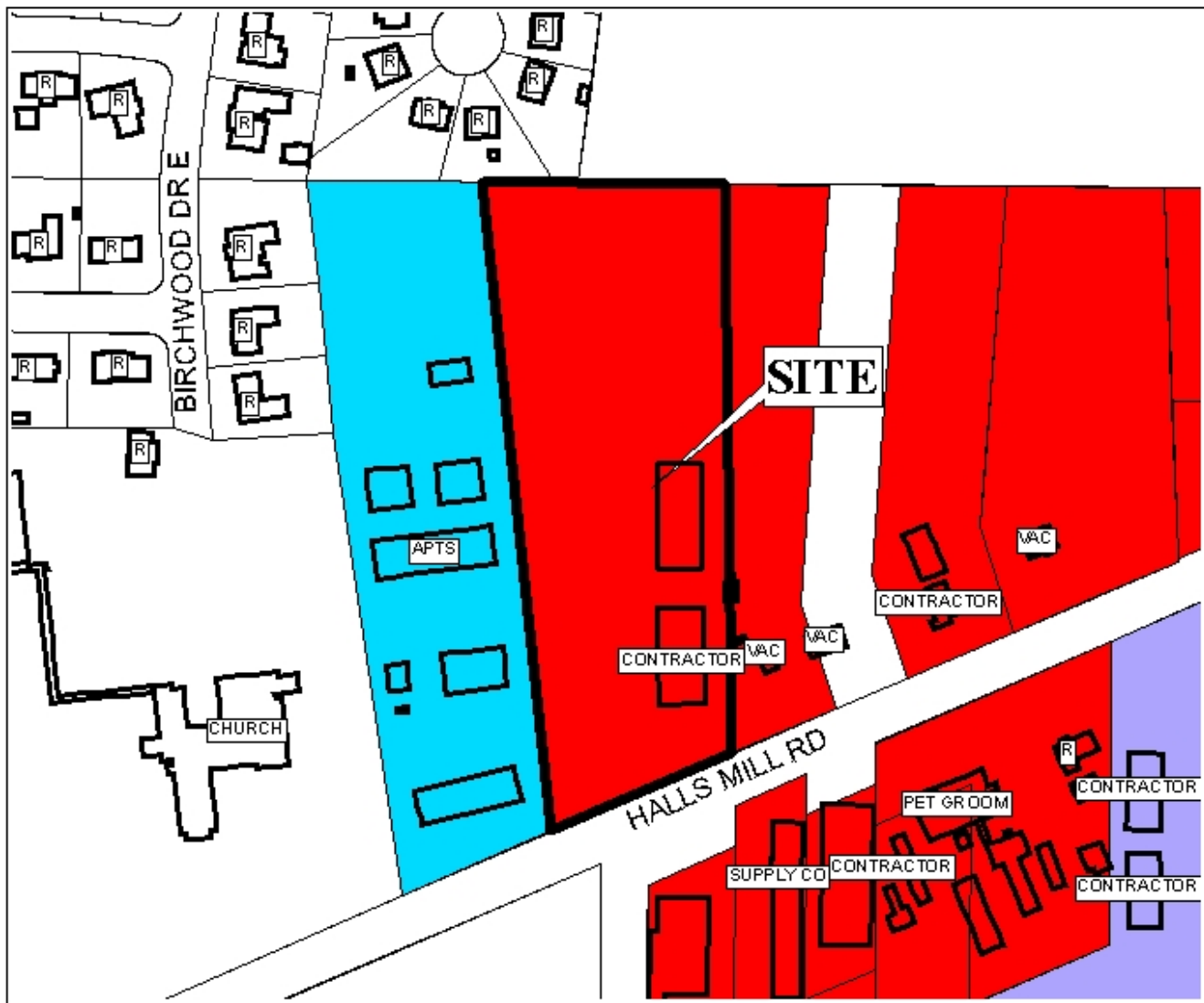
APPLICANT Paul Persons

REQUEST Planned Unit Development



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the north and west of the site.
A school and an apartment complex are located to the west of the site.
Comercial sites are located to the south and east of the site.

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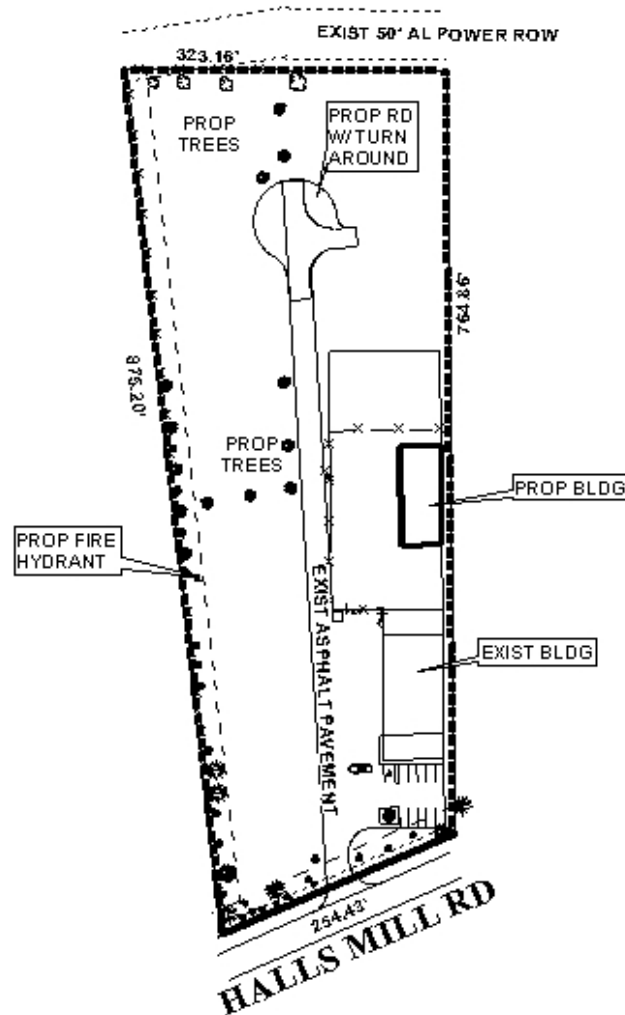
LEGEND

R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2



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SITE PLAN



The site plan illustrates the existing building, parking, proposed drive, and proposed landscaping

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