

PAULK SUBDIVISION

Engineering Comments: Show limits of flood zone and wetlands. Show the minimum finished floor elevation on each lot touched by the 100 or 500-year flood plain. Provide drainage easement, if necessary. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 10.8± acre, 2-lot subdivision which is located on the West side of West I-65 Service Road North, 855'± North of Brookdale Drive, and is located within Council District 1. The applicant states that the subdivision is served by both public water and sewer.

The purpose of this application is to create two legal lots of record from one legal lot of record.

The site fronts West I-65 Service Road North, a major street as illustrated on the Major Street Component of the Comprehensive Plan, requiring 300-feet of right-of-way. The preliminary plat illustrates the compliance with the Major Street Plan

Access management is a concern due to the site's location on the service road, and the amount of linear road frontage of the site. Therefore, Lot A should be limited to the existing curb cuts and Lot B should be limited to one curb cut, with the size, design and location of the curb cut to be approved by Traffic Engineering and ALDOT, and in conformance with AASHTO standards.

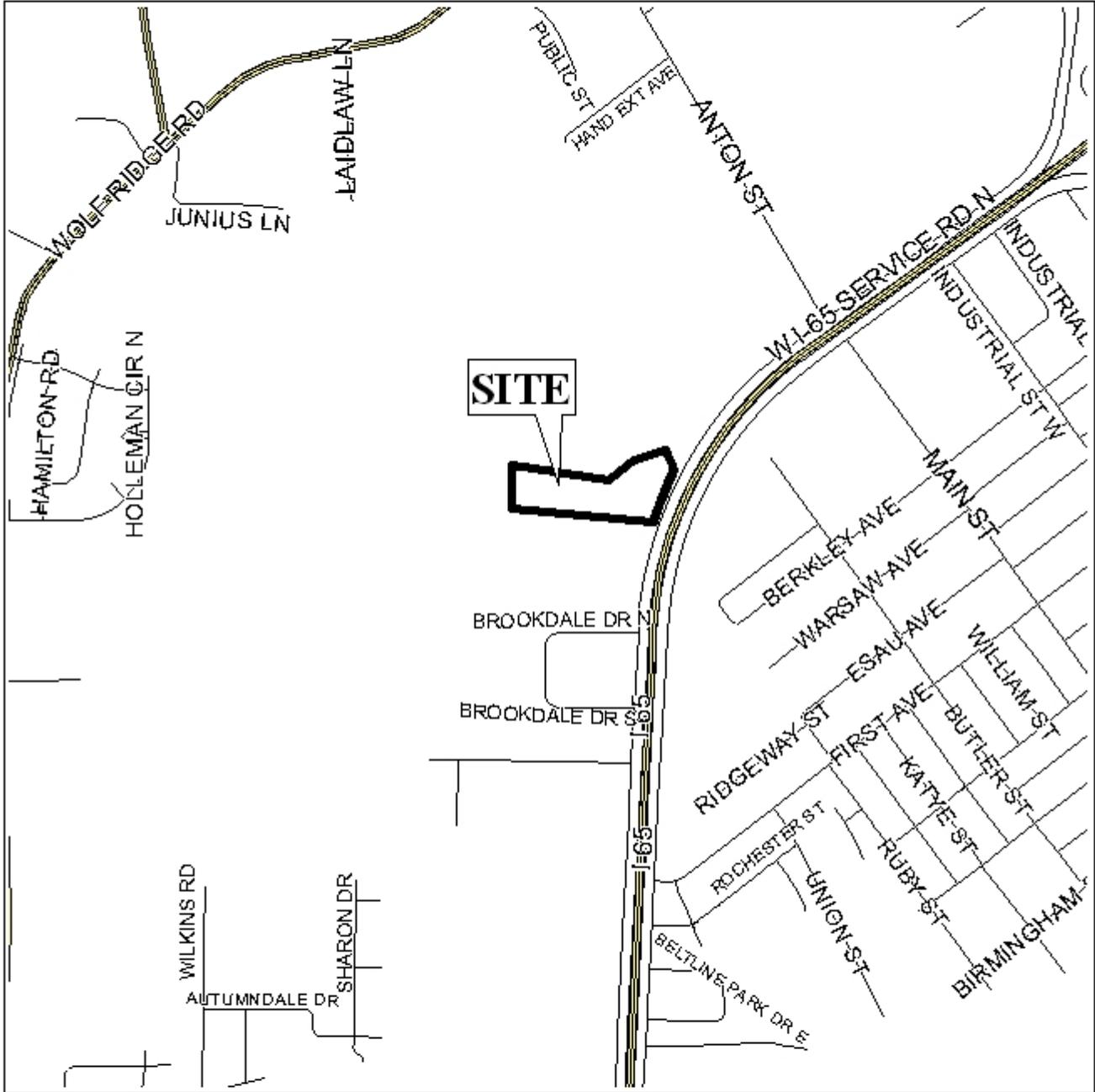
Due to the size of the proposed development, it is requested that the applicant revise the preliminary plat to provide the size of each lot in square feet on the plat, either as a table or as a label for each individual lot.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the placement of a note on the Final Plat limiting Lot A to the existing curb cuts to West I-65 Service Road North, with the size, location and design to be approved by Traffic Engineering and ALDOT;

- 2) the placement of a note on the Final Plat limiting Lot B to the one curb cuts to West I-65 Service Road North, with the size, location and design to be approved by Traffic Engineering and ALDOT; and
- 3) labeling of all lots with size in square feet, or provision of a table with the lot size information on the plat.

LOCATOR MAP



APPLICATION NUMBER 11 DATE June 7, 2007

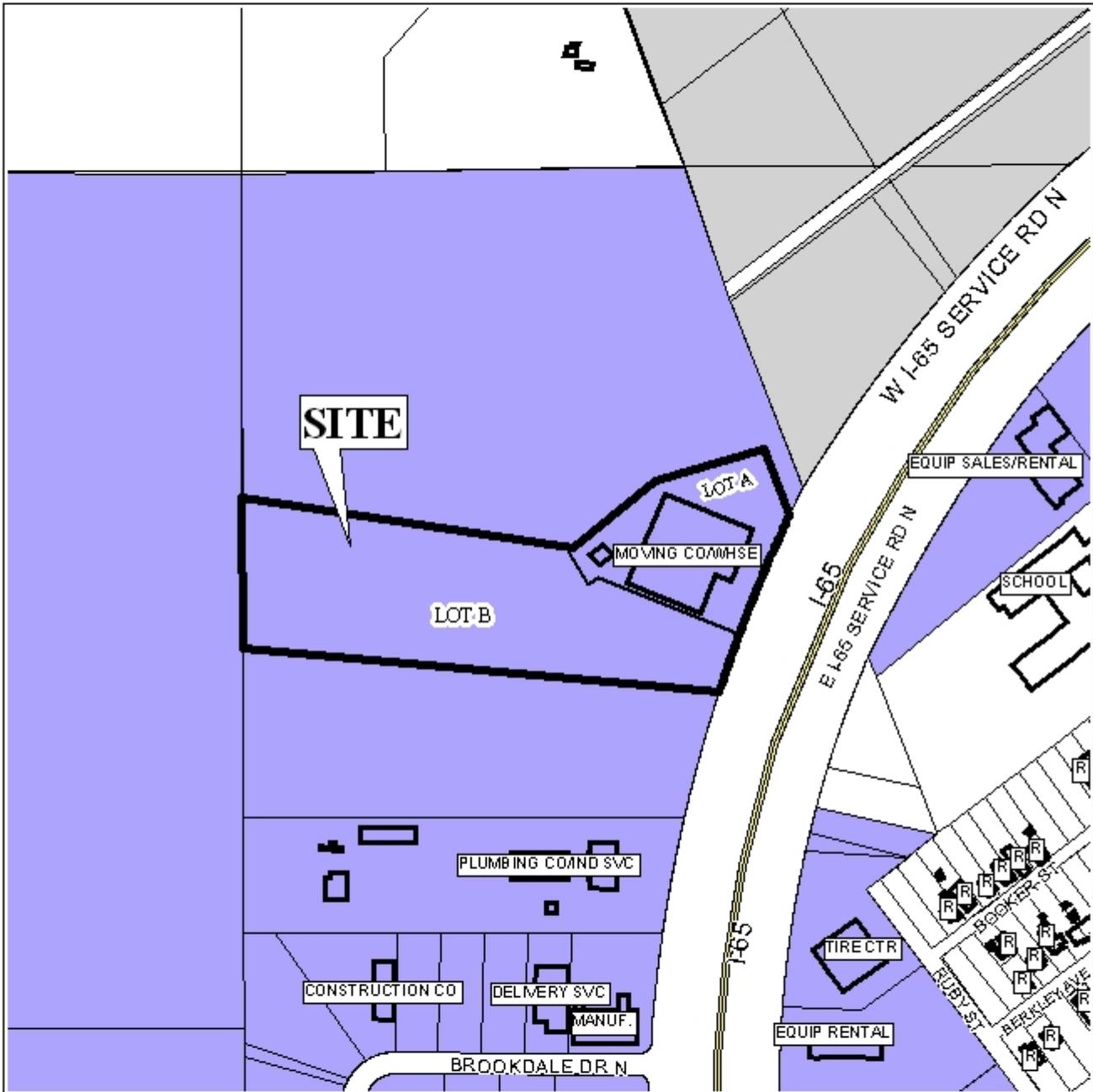
APPLICANT Paulk Subdivision

REQUEST Subdivision



NTS

PAULK SUBDIVISION



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LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS