

## **MOBILE GREYHOUND RACING SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: No Comments

The plat illustrates the proposed 54.9± acre, 2 lot subdivision, which is located on the North side of Theodore Dawes Road, 424'± West of Sperry Road, extending to the South side of Old Pascagoula Road – within the planning jurisdiction. The applicant states that the site is served by public water and sanitary sewer facilities.

The purpose of this application is to create 2 legal lots of record from two metes and bounds parcels and a legal lot of record. The two metes and bounds parcels were part of a previously approved 7 lot subdivision in 1996. However, only two lots were recorded; the remainder of the subdivision expired, which the applicant has now resubmitted with a reduced number of lots.

To the North, the site fronts Old Pascagoula Road, a minor street with a varying, yet sufficient, right-of-way. To the South, the site fronts Theodore Dawes with 80' of right-of-way. It should be noted that this section of Theodore Dawes Road is part of the proposed *Dawes Theodore Road-Hamilton Boulevard-Middle Road* thoroughfare on the Major Street Plan, which requires 100' of right-of-way. The applicant should revise the plat to dedicate sufficient right-of-way to provide a minimum 50' as measured from the centerline of Theodore Dawes Road. The applicant should also revise the minimum building setback line, as illustrated from Theodore Dawes Road, to account for the dedication.

As proposed, Lot 1 has approximately 1250' of frontage along Old Pascagoula Road and 520' of frontage along Theodore Dawes Road, while Lot 2 has approximately 150' of frontage along Theodore Dawes Road. It should be noted that the applicant has illustrated two proposed curb cuts for Lot 2; however, staff feels that two curb cuts is excessive due to its limited amount of frontage on a major street. Therefore, as a means of access management, a note should be placed on the final plat stating that Lot 1 is limited to the one existing curb cut to Old Pascagoula Road and the one existing curb cut to Theodore Dawes Road, while Lot 2 is limited to one curb cut to Theodore Dawes Road, with the sizes, locations, and designs to be approved by County Engineering and in conformance with AASHTO standards. The applicant should also revise the plat to eliminate the proposed curb cuts on Lot 2.

It should be further noted that Lot 1 is currently developed; however, the impact of the proposed subdivision will minimal impact, if any.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

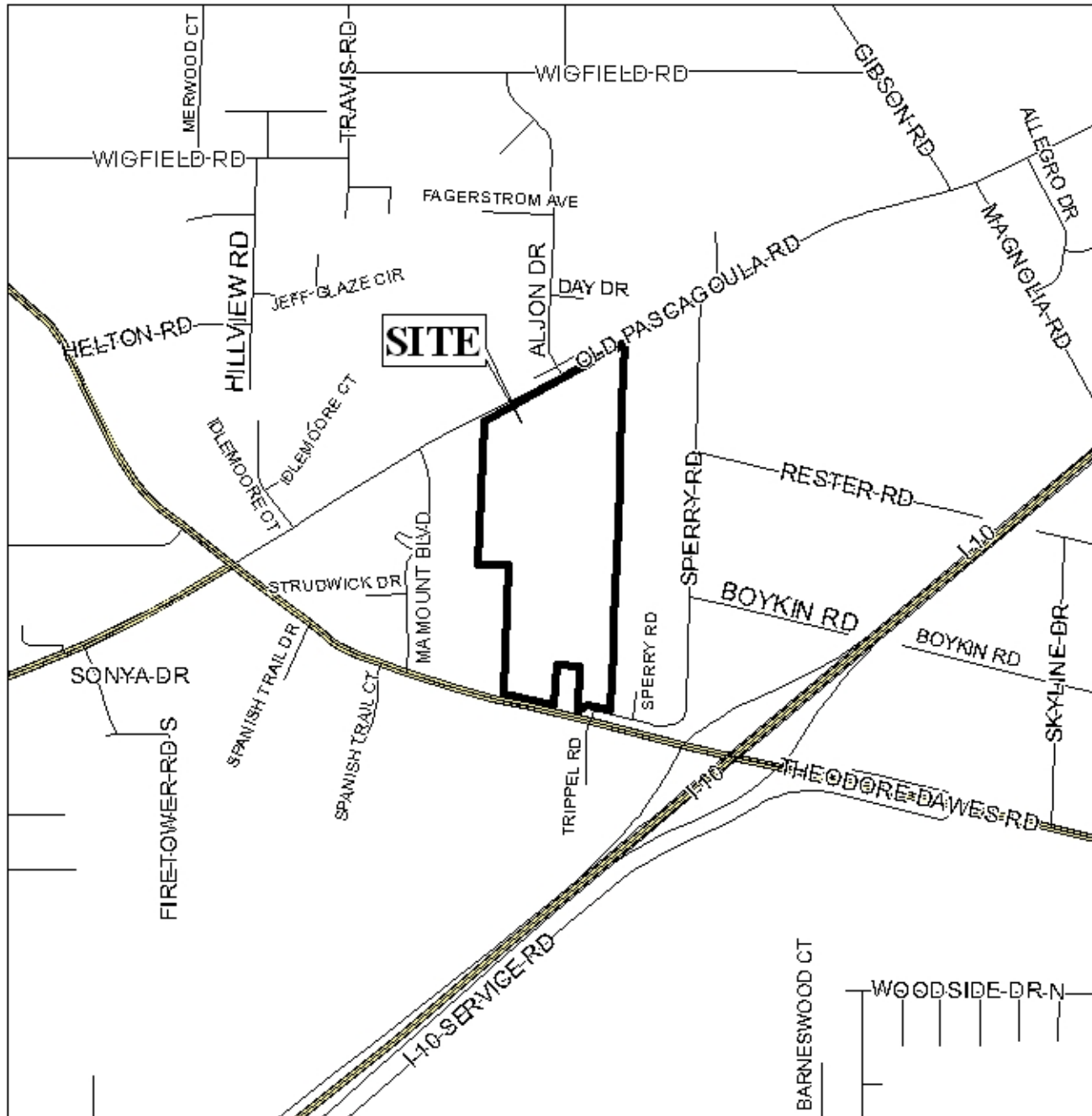
The site is located in the county. Therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide a minimum 50' as measured from the centerline of Theodore Dawes Road;
- 2) revision of the minimum building setback line to account for dedication along Theodore Dawes Road;
- 3) placement of a note on the final plat stating that Lot 1 is limited to the one existing curb cut to Old Pascagoula Road and the one existing curb cut to Theodore Dawes Road, while Lot 2 is limited to one curb cut to Theodore Dawes Road, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards;
- 4) removal of the proposed curb cuts on Lot 2 from the plat;
- 5) placement of a note on the plat stating that the site must be developed in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) placement of a note on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.8 of the Subdivision Regulations; and
- 7) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

## LOCATOR MAP



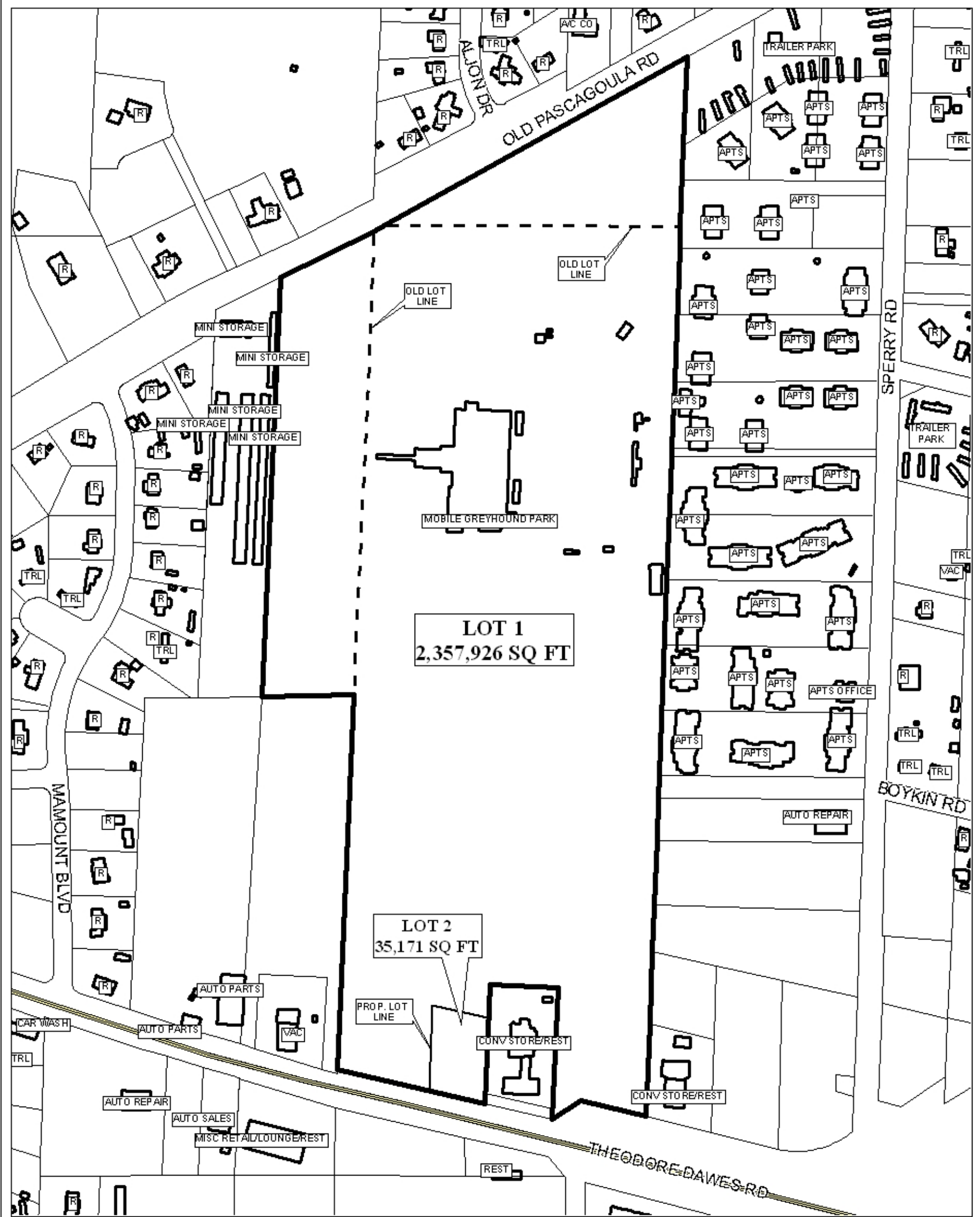
APPLICATION NUMBER 11 DATE October 15, 2009

APPLICANT Mobile Greyhound Racing Subdivision

REQUEST Subdivision



MOBILE GREYHOUND RACING SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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