

**COUNTY VACATION
& SUBDIVISION STAFF REPORT****Date: October 2, 2014****NAME**

Lance & Terri Hankinson

SUBDIVISION

LHRP 2 Commercial Park Subdivision

LOCATION1651 Schillinger Road North
(West side of Schillinger Road North, 35'± South of Tara Drive)**REQUEST**

Request to vacate a 15' wide drainage easement, two (2) 20' wide drainage and utility easements, a 24' wide ingress/egress easement, a 25' wide drainage easements/detention/common area, and a detention/common area; and create two (2) legal lots of record from three (3) existing legal lots of record.

REMARKS

The applicant is requesting vacation of a 15' wide drainage easement, two (2) 20' wide drainage and utility easements, a 24' wide ingress/egress easement, a 25' wide drainage easements/detention/common area, and a detention/common area; and creation of two (2) legal lots of record from three (3) existing legal lots of record.

The site is located at 1651 Schillinger Road North (West side of Schillinger Road North, 35'± South of Tara Drive).

The reason for the application is that a revised site plan for the future development of the property conflicts with the various easements which were recorded as part of LHRP Subdivision approved by the Planning Commission at its April 4, 2013 meeting. It should also be noted that while the approved Subdivision was signed and recorded in Probate Court, no copies of the Final Plat were submitted to Urban Development as required. It should be noted that a similar subdivision and vacation application was approved at the November 7, 2013 meeting of the Planning Commission, but no action was taken, and the currently proposed preliminary plat has relocated the proposed interior lot lines slightly.

Regarding the creation of the new lots, the plat depicts the proposed 2-lot, 8.3± acre subdivision. As stated previously, the site is currently three (3) legal lots of record. The proposed lots appear to meet the minimum size requirements as regulated by Section V.D.2. of the Subdivision Regulations. The sizes of the lots are depicted in square feet or acres. If approved, the lot sizes should be retained on the Final Plat in square feet and acres, or a table with the same information should be provided.

The site is located on Schillinger Road North, which is a major street. As a major street, there should be a 100' right-of-way. The plat depicts a previous acquisition of right-of-way along the site's frontage to provide approximately 70' from the centerline of Schillinger Road North; therefore, no dedication would be required.

It should be noted that the proposed Lot 2 is a flag lot, with a 75' wide pole. The Planning Commission approved LHRP Subdivision with a flag lot with a 33'± wide pole at its April 4, 2013 meeting, as well as 75' wide pole at its November 7, 2013 meeting, therefore a waiver of Section V.D.1. of the Subdivision Regulations may be appropriate.

The 25' minimum building setback is shown for both lots, and should be retained on the Final Plat, if approved.

While the applicant is proposing to vacate an existing ingress/egress easement, there is a new ingress/egress easement which would provide both of the proposed lots with access to Schillinger Road North, therefore the development should be limited to one shared curb cut to Schillinger Road North, with said curb cut to be located on the proposed Lot 2, with the size, design, and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

Recommendation

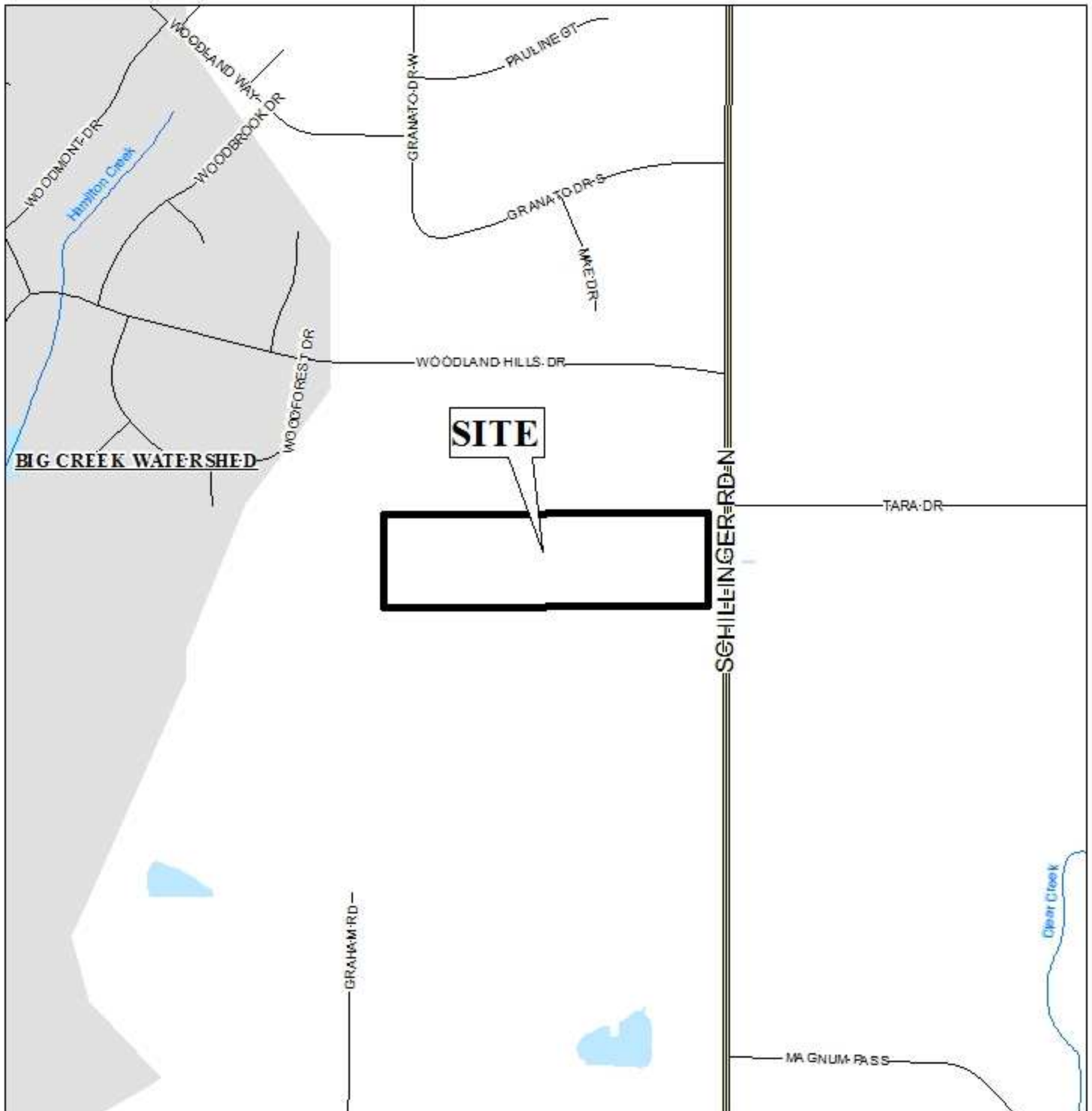
Vacation Request: The request to vacate a 15' wide drainage easement, two (2) 20' wide drainage and utility easements, a 24' wide ingress/egress easement, a 25' wide drainage easements/detention/common area, and a detention/common area, is recommended for approval subject to the following conditions:

- 1) submission of seven (7) copies of the LHRP Commercial Park Subdivision plat as recorded in Mobile County Probate Court; and
- 2) completion of the vacation process prior to the signing of the Final Plat.

Subdivision: The request is recommended for tentative approval, with a waiver of Section V.D.1. of the Subdivision Regulations, subject to the following conditions:

- 1) retention of the lot sizes in square feet and acres, or provision of a table on the Final Plat with the same information;
- 2) retention of the 25' minimum building setback for both lots;
- 3) placement of a note on the Final Plat limiting the development to one shared curb cut to Schillinger Road North, with said curb cut to be located on the proposed Lot 2, with the size, design, and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



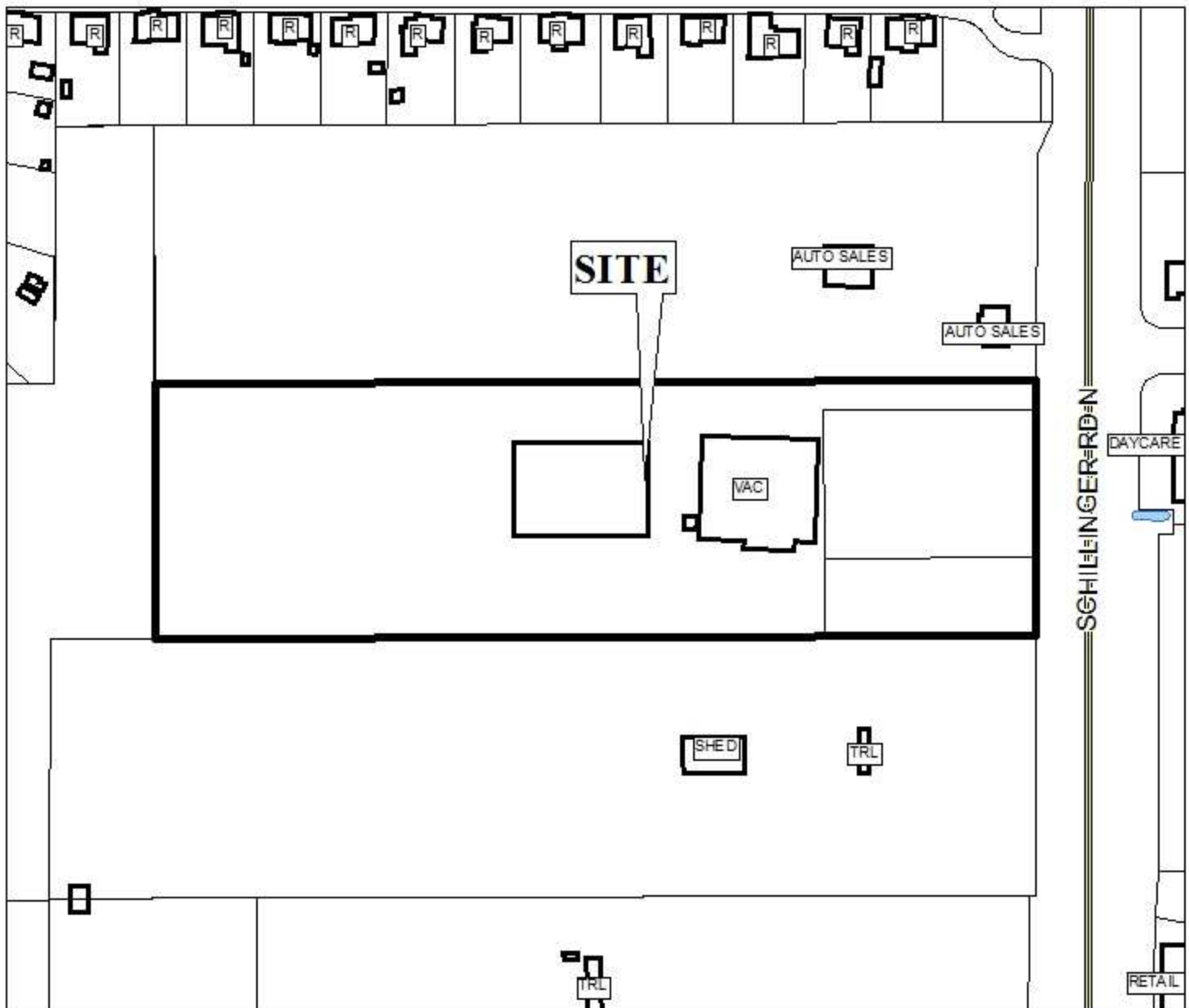
APPLICATION NUMBER 11 DATE October 2, 2014

APPLICANT LHRP 2 Commerical Park Subdivision

REQUEST Subdivision, Vacation Request



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units to the east. Residences lie to the north and south of the site.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION

VICINITY MAP - EXISTING ZONING



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LOT 3

LOT 1

LOT 2

INGRESS, EGRESS, DRAINAGE AND UTILITY EASEMENTS DETAIL

REQUEST _____ Subdivision, Vacation Request



LOT 2

LOT 1

20' SETBACK

ACQUIRED ROW

PROPOSED BUILDING

EXISTING DRIVE

PROPOSED DRIVE

PROPOSED PARKING

PROPOSED WALKWAY

PROPOSED LANDSCAPE

PROPOSED LIGHT FIXTURES

PROPOSED SIGNAGE

PROPOSED FENCE

PROPOSED GROUND COVER

PROPOSED TREES

PROPOSED SHRUBS

PROPOSED GRASS

PROPOSED PAVEMENT

PROPOSED CURB

PROPOSED GUTTER

PROPOSED DRAINAGE

PROPOSED UTILITY

PROPOSED ELEVATION

PROPOSED AREA

PROPOSED PERCENT

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PROPOSED ARCHITECT

PROPOSED ENGINEER

PROPOSED LANDSCAPE ARCHITECT

PROPOSED CIVIL ENGINEER

PROPOSED ELECTRICAL ENGINEER

PROPOSED MECHANICAL ENGINEER

PROPOSED PLUMBING ENGINEER

PROPOSED FIRE ENGINEER

PROPOSED ENVIRONMENTAL ENGINEER

PROPOSED GEOLOGICAL ENGINEER

PROPOSED HISTORIC ARCHITECT

PROPOSED INTERIOR ARCHITECT

PROPOSED EXTERIOR ARCHITECT

PROPOSED SITE ARCHITECT

PROPOSED PLANNING ARCHITECT

PROPOSED CONSTRUCTION ARCHITECT

PROPOSED MAINTENANCE ARCHITECT

PROPOSED OPERATIONS ARCHITECT

PROPOSED MANAGEMENT ARCHITECT

PROPOSED FINANCE ARCHITECT

PROPOSED LEGAL ARCHITECT

PROPOSED POLICE ARCHITECT

PROPOSED FIRE DEPARTMENT ARCHITECT

PROPOSED EMERGENCY SERVICES ARCHITECT

PROPOSED COMMUNITY ARCHITECT

PROPOSED CULTURAL ARCHITECT

PROPOSED RECREATION ARCHITECT

PROPOSED EDUCATION ARCHITECT

PROPOSED HEALTH CARE ARCHITECT

PROPOSED HOUSING ARCHITECT

PROPOSED OFFICE ARCHITECT

PROPOSED RETAIL ARCHITECT

PROPOSED INDUSTRIAL ARCHITECT

PROPOSED TRANSPORTATION ARCHITECT

PROPOSED INFRASTRUCTURE ARCHITECT

PROPOSED UTILITIES ARCHITECT

PROPOSED WATER ARCHITECT

PROPOSED SEWER ARCHITECT

PROPOSED GAS ARCHITECT

PROPOSED ELECTRICITY ARCHITECT

PROPOSED TELECOMMUNICATIONS ARCHITECT

PROPOSED RAIL ARCHITECT

PROPOSED AIRPORT ARCHITECT

PROPOSED MARINA ARCHITECT

PROPOSED PORT ARCHITECT

PROPOSED CANAL ARCHITECT

PROPOSED DAM ARCHITECT

PROPOSED LEVEE ARCHITECT

PROPOSED COASTAL ARCHITECT

PROPOSED OCEAN ARCHITECT

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PROPOSED LAKE

REQUEST Subdivision, Vacation Request



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