

KOTIS-PHILLIPS SUBDIVISION

Engineering Comments: Any existing sidewalk panels or curbcuts along the property frontage that are cracked or damaged are required to be replaced according to current standards. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 2 lot, 0.3 ± acre subdivision which is located at 200 & 202 South Georgia Avenue (Southwest corner of South Georgia Street and Selma Street), and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to modify a lot line between two existing legal lots of record. The owner of proposed Lot 1A wishes to acquire an existing out building and land from the owners of the proposed Lot 2A.

The proposed Lot 1A, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations; however, the proposed Lot 2A does not. It should be noted that Lot 1A only meets minimum standards because of the subdivision application and because it is a corner lot. Further, there are several substandard lots in the area due to the fact that the area was developed well before the current regulations went into effect. The only substantial change to Lot 2A is the size, the lot substandard lot width is existing, and will not change. In this case, a waiver of Section V.D.2. of the Subdivision Regulations regarding lot width and lot area would seem to be appropriate. The lot area size, in square feet, is not depicted on the plat, and should be shown on the Final Plat, if approved.

The 25-foot minimum building setback line is not depicted along South Georgia Avenue or Selma Street. Section V.D.9. of the Subdivision Regulations requires depiction of a 25-foot minimum front building setback line. However, this site is located within the Oakleigh Garden District, and Section 64-3.G.3(a)(1) of the Zoning Ordinance allows a reduced front yard setback (no greater or lesser than the setback of those structures on the same side of the street within 150 feet of both sides of the building site). In this case, Section V.D.9. of the Subdivision Regulations regarding minimum building setback line should be waived for both lots. However,

a setback line should be depicted, with documentation from the adjacent properties indicating the justification for the setback line depicted.

The site fronts Selma Street to the North and South Georgia Avenue to the East. Both Selma Street and South Georgia Avenue are minor streets provided with curb and gutter. Section V.B.14. of the Subdivision Regulations requires a right-of-way width of 50 feet for minor streets provided with curb and gutter. Both streets are depicted with adequate rights-of-way.

The site is located at the intersection of Selma Street and South Georgia Avenue. As such, compliance with Section V.B.16. of the Subdivision Regulations regarding curb radii will be required at the intersection.

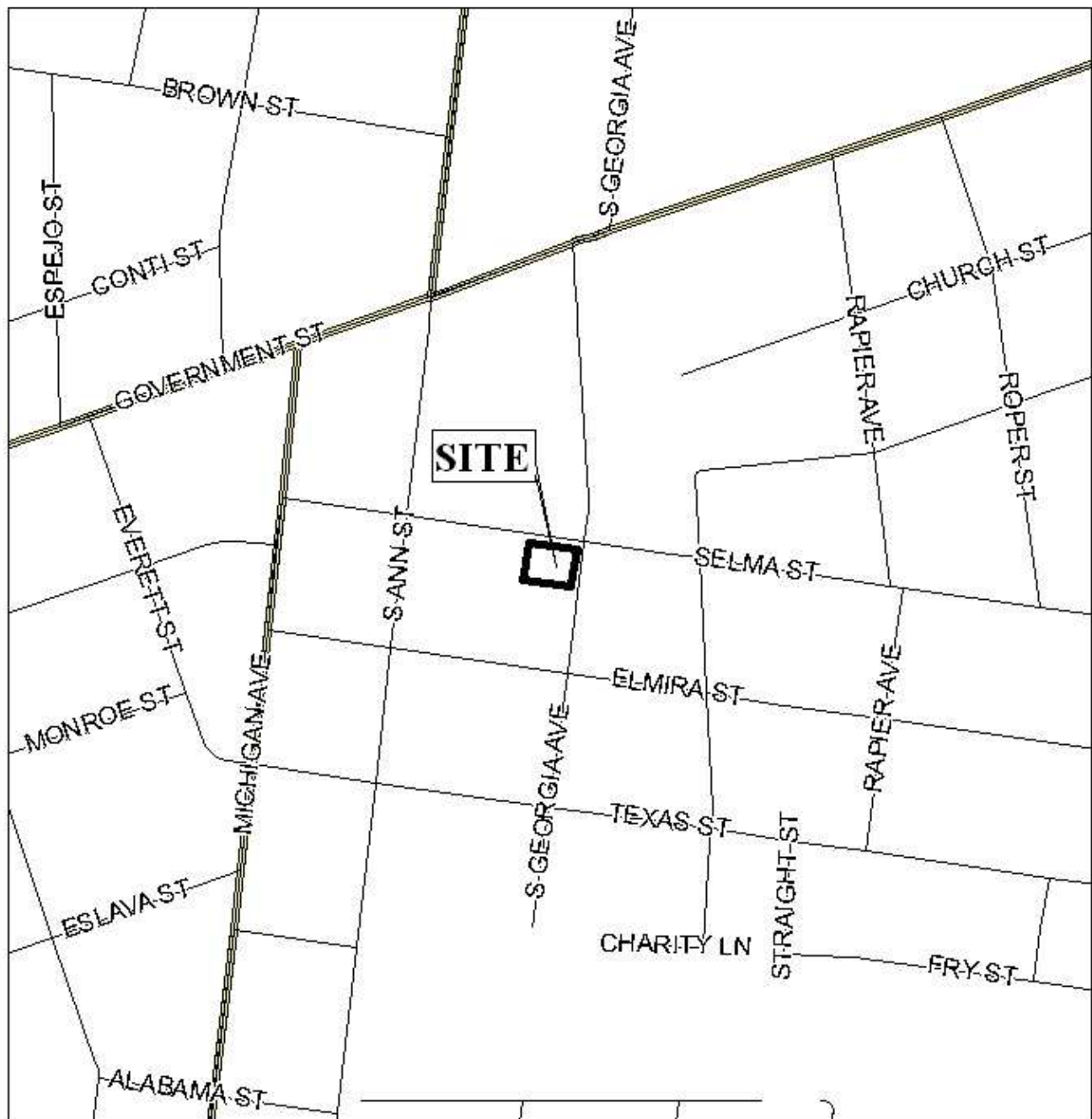
Currently, proposed Lot 1A has a single curb cut to Selma Street and Lot 2A has a single curb cut to South Georgia Avenue. The site should be limited to the existing curb cuts with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, and with a waiver of Section V.D.2. of the Subdivision Regulations regarding lot area size and lot width for Lot 2A, and a waiver of Section V.D.9. of the Subdivision Regulations regarding the minimum front building setback line, this application is recommended for tentative approval subject to the following conditions:

- 1) depiction of lot area size in square feet, on the Final Plat;
- 2) depiction of the minimum building setback line along Selma Street and South Georgia Avenue in compliance with Section 64-3.G.3(a)(1) of the Zoning Ordinance with documentation from the adjacent properties indicating the justification for the setback line depicted;
- 3) compliance with Section V.B.16. of the Subdivision Regulations regarding curb radii at the corner of Selma Street and South Georgia Avenue;
- 4) placement of a note on the Final Plat stating that site is limited to the existing curb cuts with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) compliance with Fire Department comments: *"All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile;"* and
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



APPLICATION NUMBER 11 DATE March 15, 2012

APPLICANT Kotis-Phillips Subdivision

REQUEST Subdivision


















KOTIS-PHILLIPS SUBDIVISION



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LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS



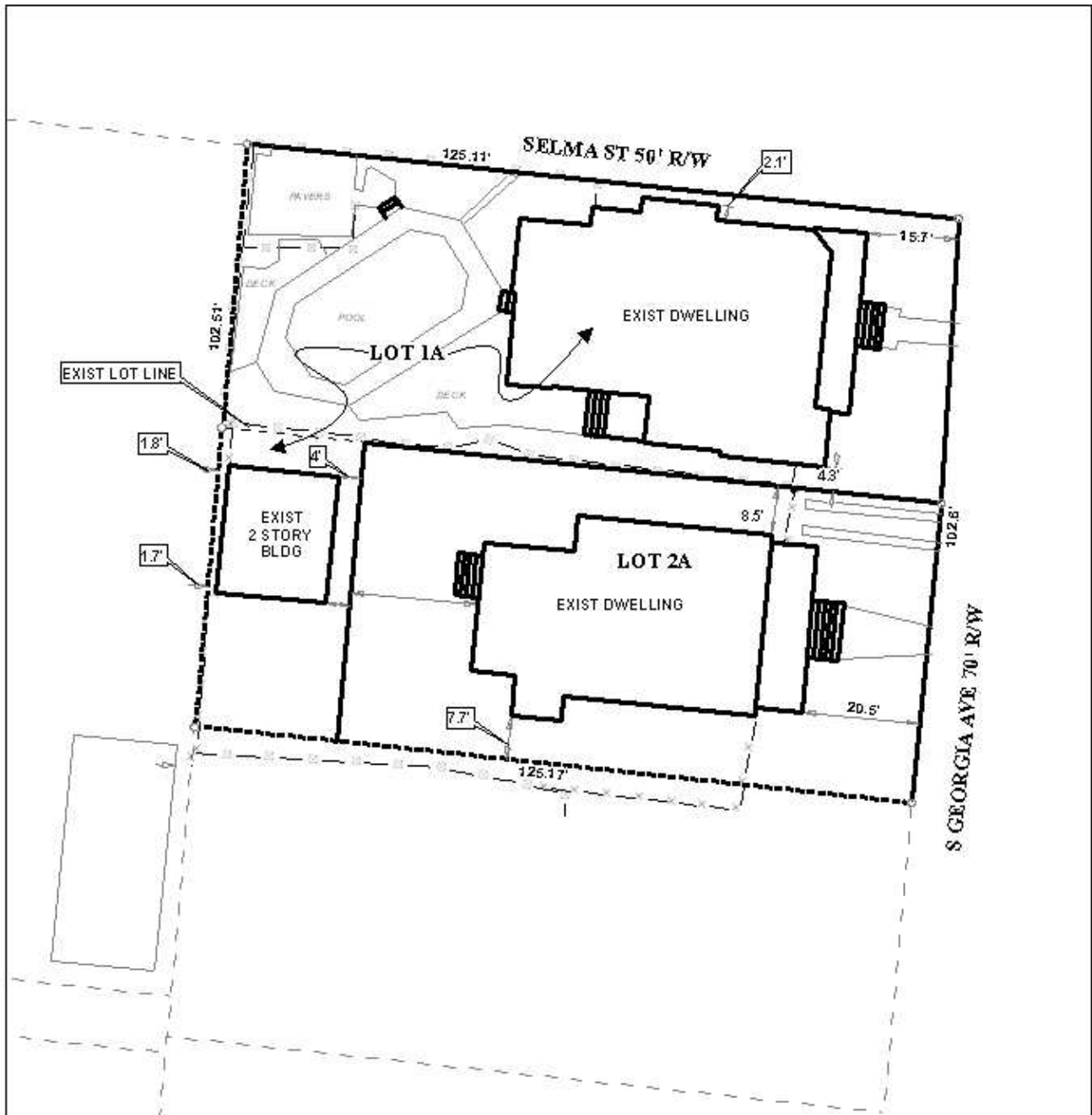
KOTIS-PHILLIPS SUBDIVISION



APPLICATION NUMBER 11 DATE March 15, 2012



DETAIL SITE PLAN



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REQUEST Subdivision

