

KENT PLACE SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: No Comments

The plat illustrates the proposed 0.5± acre, 2-lot subdivision which is located on the Southwest corner of Club House Road and Kent Road, and is in Council District 3. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from one legal lot of record. The lot was originally created as part of the Pinewood Subdivision, First Addition which was approved by the Planning Commission at its November 25, 1949 meeting.

The lot sizes are not labeled on the preliminary plat, however it appears that both lots meet the minimum size required by Section V.D.2. of the Subdivision Regulations. If approved, a label of the lots sizes in square feet should be placed on the Final Plat.

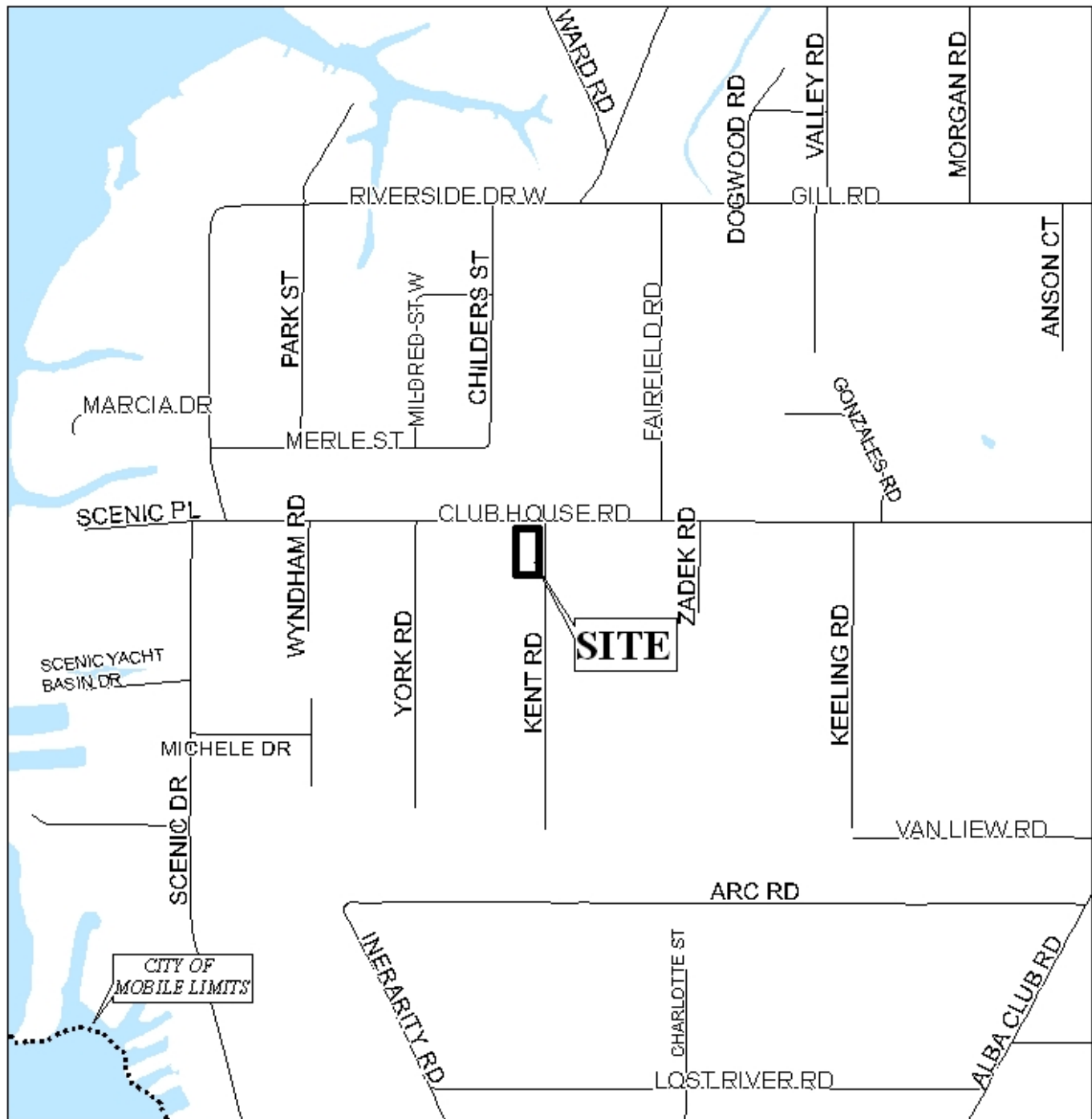
The 25' building setback is shown for both lots, and should remain on the Final Plat if approved. It should be noted that the existing dwelling on the proposed Lot 1 is within the 25' building setback line. Any possible future additions on the house will not be allowed within the setback unless a variance is granted by the Board of Zoning Adjustment.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of the labeling of the lots with size in square feet;
- 2) placement of the 25-foot minimum building setback line;
- 3) placement of a note on the Final Plat limiting the each lot to one curb cut to Kent Road, with the size, design, and location of all curb cuts to be approved by Mobile City Engineering and conform to AASHTO standards; and
- 4) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



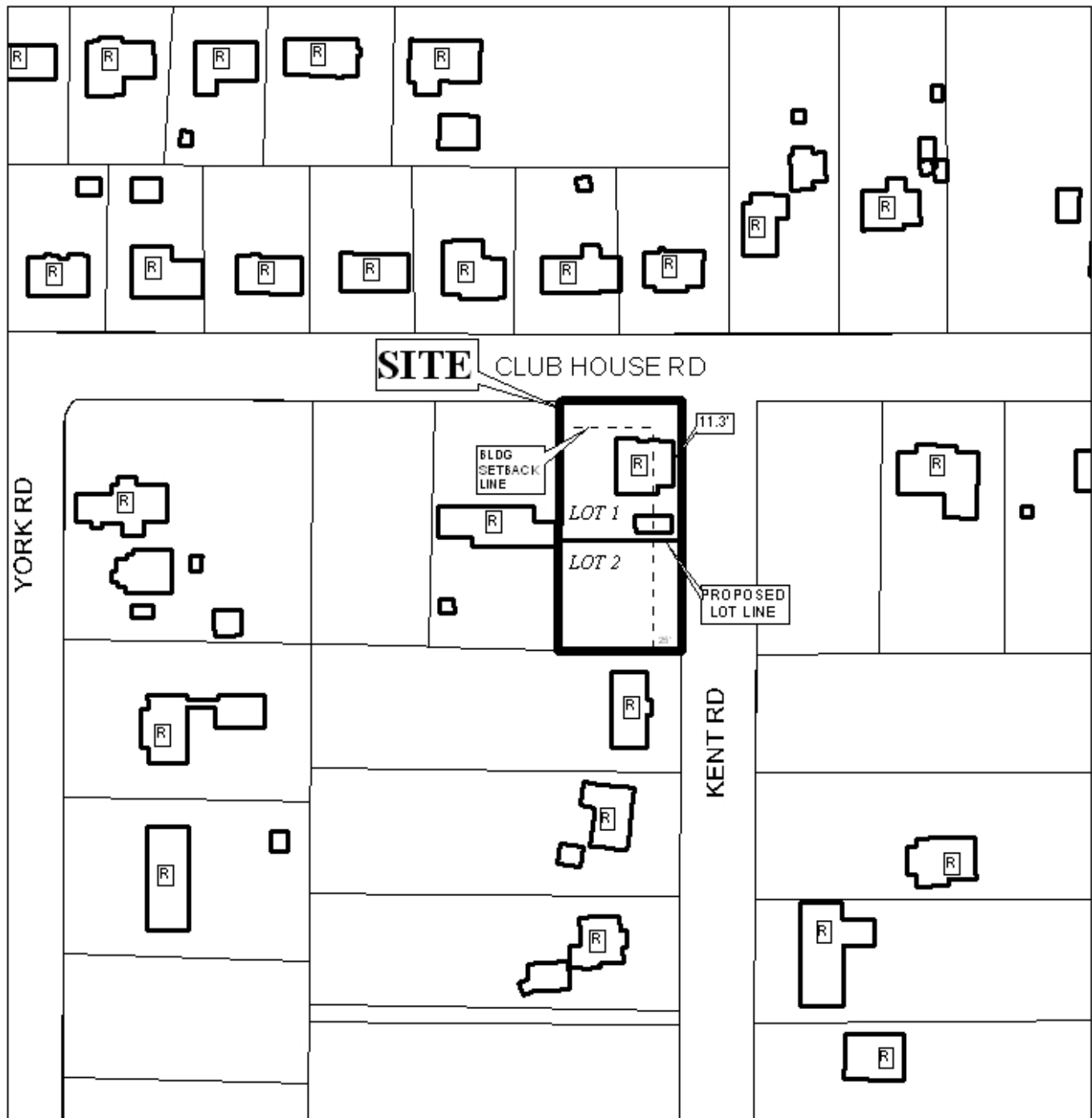
APPLICATION NUMBER 11 DATE June 2, 2011

APPLICANT Kent Place Subdivision

REQUEST Subdivision



KENT PLACE SUBDIVISION



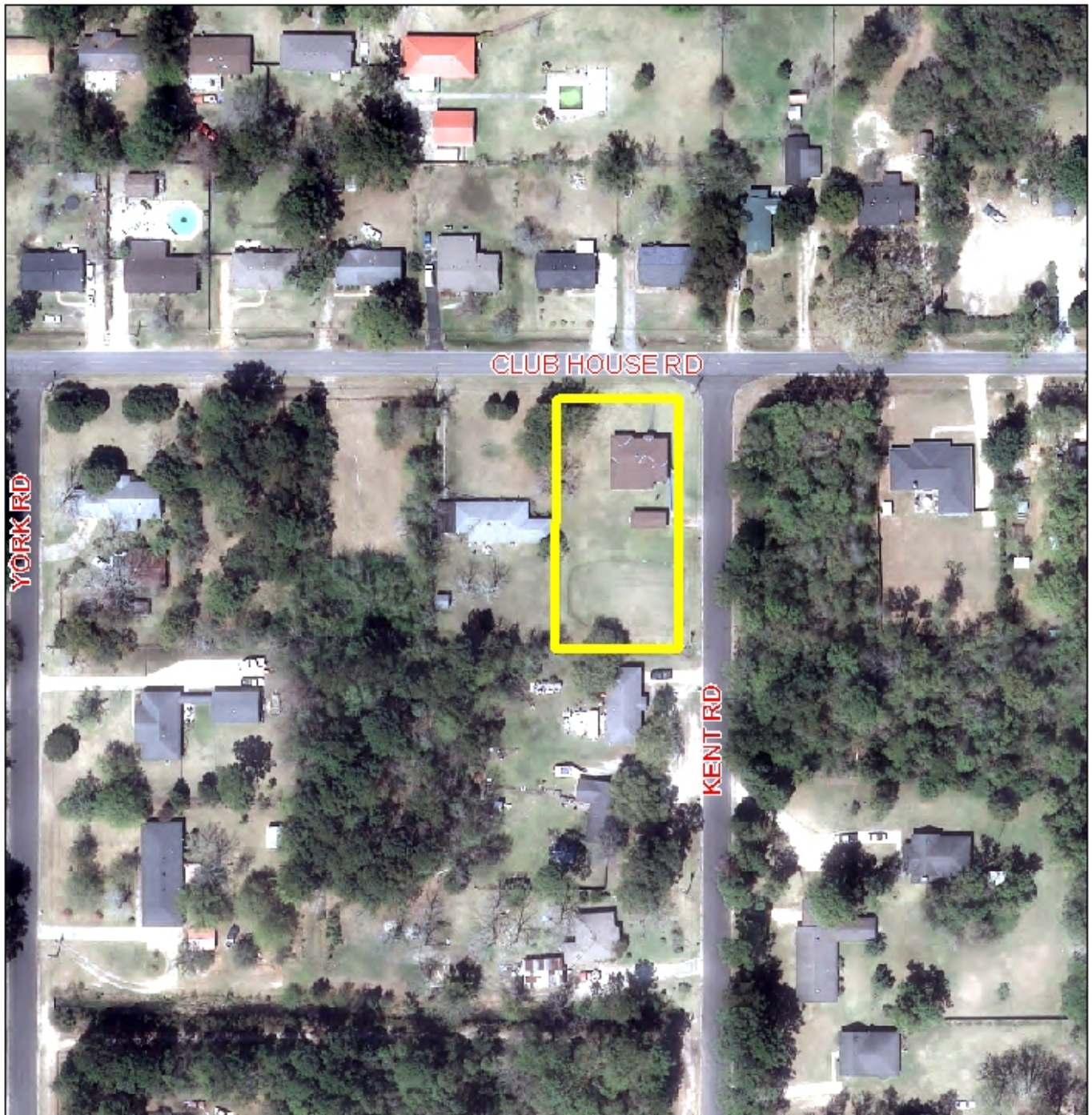
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LEGEND

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| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
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