

## **KATHERINES PLACE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments received.

The preliminary plat illustrates the proposed 2-lot, 10.0 ± acre subdivision, which is located on the west side of Air Terminal Drive, 3/10 ± mile north of Grelot Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and city sewer.

The intent of this application is to create 2 legal lots of record by reconfiguring the lot lines of 2 existing legal lots which were approved by the Planning Commission at its September 6, 2001 meeting.

It should be pointed out that the proposed Lot 2 is irregular in shape. As proposed, the lot is over 9 ± acres in size and would measure 363' ± at its widest point, 1256' ± at its deepest point but only provide 60' of frontage along Airport Terminal Drive. Due to the limited length of frontage, if approved, any future subdivision of the proposed Lot 2 should be prohibited until additional frontage along a public or private street is provided. This note should appear on the Final Plat if approved.

In accordance with the Subdivision Regulations, both proposed lots exceed the minimum lot size requirements and the 25-foot minimum building setback line is depicted on the preliminary plat and should be retained on the Final Plat, if approved.

The proposed subdivision fronts Airport Terminal Drive, a planned Major Street as designated by the Major Street Plan component of the Comprehensive Plan with a right-of-way width of 100'. The existing right-of-way width is compliant thus, no dedication is required. If approved, the Final Plat should be revised to illustrate a 100' right-of-way for Airport Terminal Drive, which should also be labeled as such instead of Wilson Road.

As a means of access management, a note should be place on the Final Plat stating that both proposed lots be limited to one curb-cut each with the size, design, and location to be approved by Mobile County Engineering and conform to AASHTO standards.

GIS data indicates the presence of wetlands as well as the AE and X-Shaded Flood Zones on a portion of the site. The presence of wetlands and flood zones would indicate that the area may

be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities. A note regarding these requirements should appear on the Final Plat if approved.

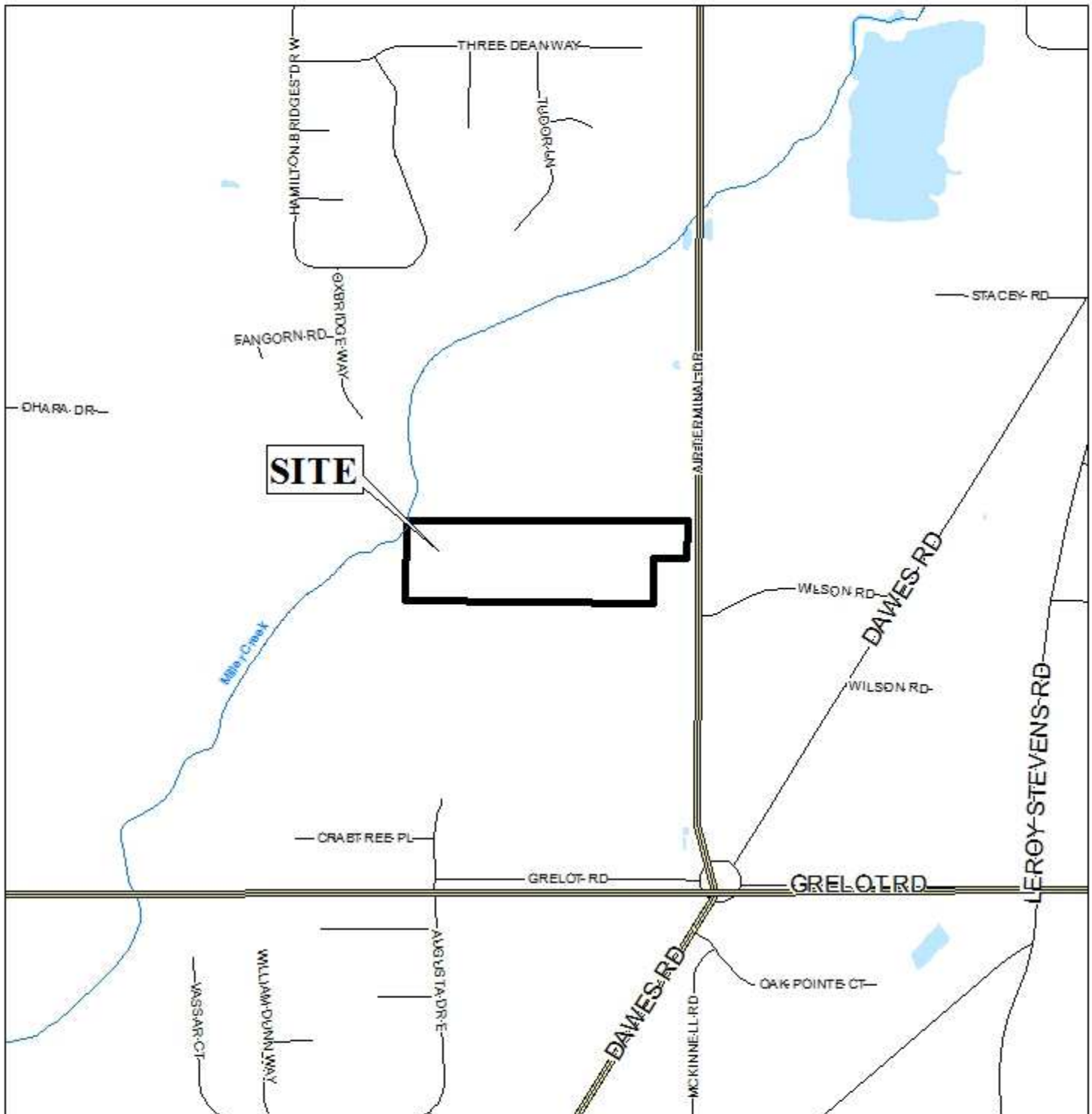
This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding these requirements should appear on the Final Plat if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. If approved, note should appear on the Final Plat to reflect this requirement.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Placement of a note on the Final Plat stating that no future subdivision of Lot 2 will be allowed until additional frontage along a paved public or private street is provided;
- 2) Revision of the Final Plat to label Airport Terminal Drive with a 100' right-of-way;
- 3) Retention of the 25' minimum building setback and lot size information on the Final Plat;
- 4) Placement of a note on the Final Plat limiting both lots to one curb-cut each, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Compliance with Engineering Comments and placement of a note on the Final Plat stating: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 6) Compliance with Fire Comments and placement of a note on the Final Plat stating: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 7) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 8) Placement of a note on the Final Plat stating: *(Any development of the site must comply with local, state and federal regulations regarding wetlands and flood zones.);* and
- 9) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.).*

# LOCATOR MAP



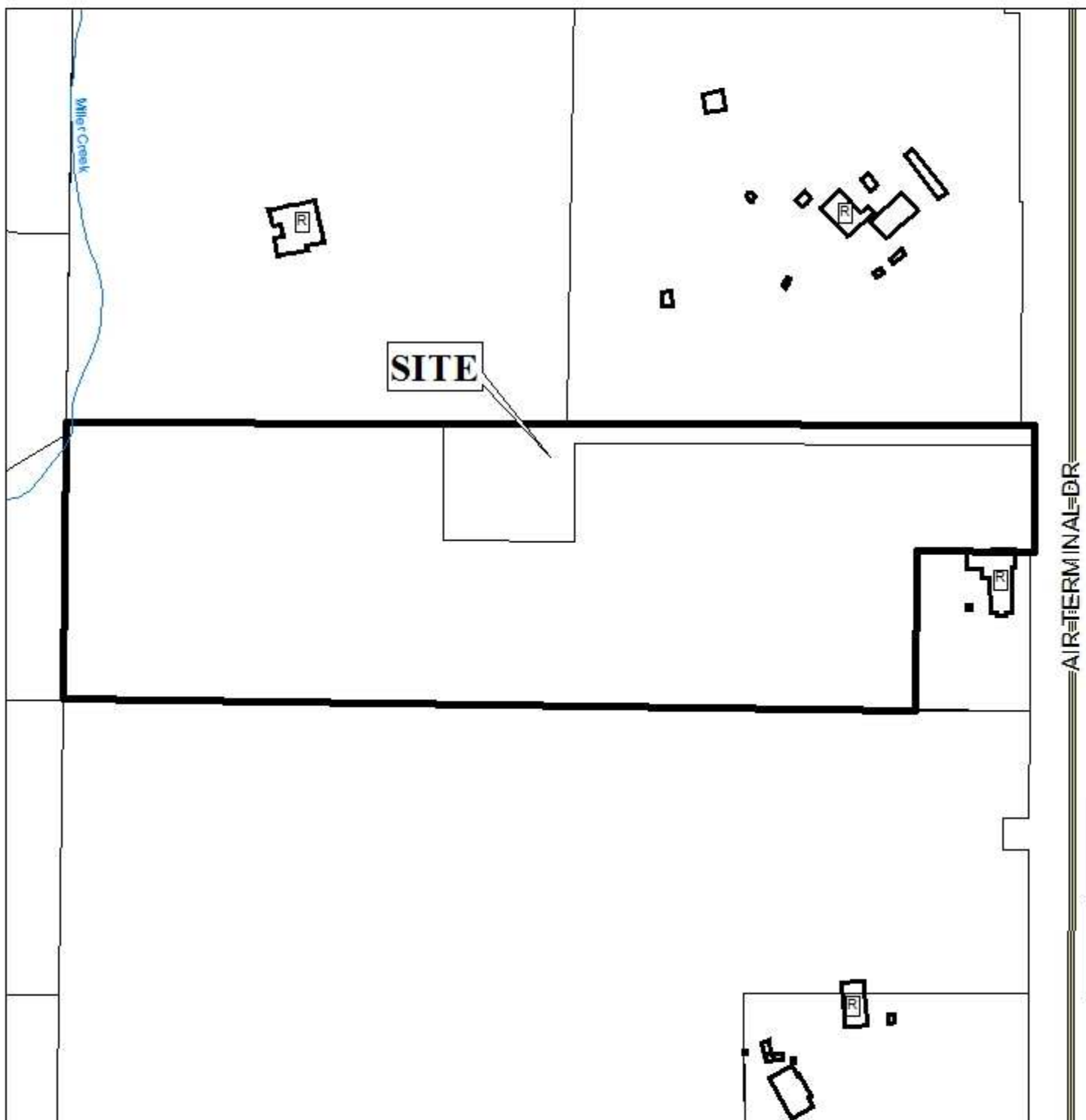
APPLICATION NUMBER 11 DATE February 20, 2014

APPLICANT Katherines Place Subdivision

REQUEST Subdivision



# KATHERINES PLACE SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2





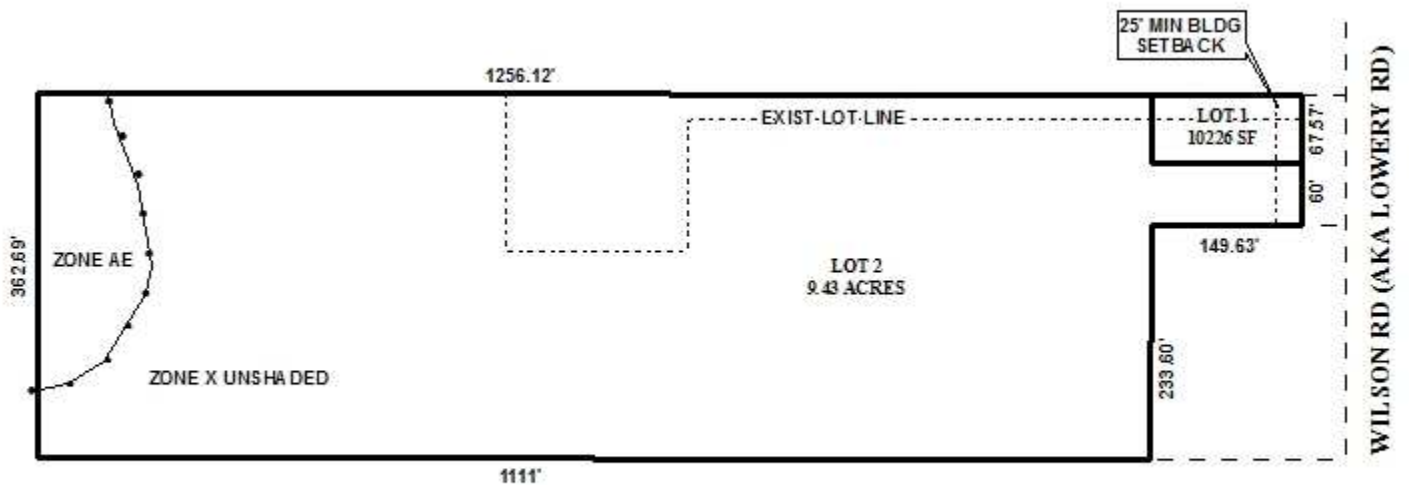
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# DETAIL SITE PLAN



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REQUEST Subdivision

