

JOHNSON DEVELOPMENT – SPEC 1 SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Mobile Area Water & Sewer System Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile.

The plat illustrates the proposed two-lot, 158.3± acres subdivision which is located on the North side of Interstate 10, 700'± West of Theodore Dawes Road, extending to the South termini of Trippell Road and Spanish Trail Court, and the East terminus of Firetower Road South. The subdivision, which is located outside the Mobile City Limits, has no public water or sanitary facilities available.

The purpose of this application is to divide two existing lots of record and three metes and bounds parcels into two lots. The two existing lots are at the South terminus of Spanish Trail Court and are part of Spanish Trail Commercial Park Subdivision, recorded in 1980. Those two lots are proposed to be combined with a portion of the metes and bounds parcels to become Lot 2, containing approximately 132 acres. The remainder of the metes and bounds parcels, at the South terminus of Trippell Road, will become Lot 1, containing approximately 23 acres.

Lot 1 is proposed to have approximately 90' of frontage along the West side of Trippell Road, and 60' of frontage at the South terminus of the Trippell Road street stub. The lot will also have frontage along the North side of Interstate 10. No right-of-way dedication is required. The plat did not indicate a minimum building setback line; therefore, the plat should be revised to indicate a 25' minimum building setback line along the West and South right-of-way lines of Trippell Road and along the Interstate 10 frontage.

Lot 2 is proposed to have approximately 112' of frontage on the cul-de-sac at the South terminus of Spanish Trail Court with a 60' right-of-way. No minimum building setback line is indicated for this street frontage; therefore, the plat should be revised to indicate a 25' minimum building setback line along the Spanish Trail Court frontage. Lot 2 extends to the East terminus of Firetower Road South, a substandard road with a 45' right-of-way, and extends to the North side of Interstate 10. Again, no minimum building setback line is indicated off the terminus of Firetower Road South of Interstate 10; therefore, the plat should be revised to indicate a 25' minimum building setback line off the East terminus of Firetower Road South and along the Interstate 10 frontage.

Since both proposed lots have less than 200' of frontage on either Trippell Road or Spanish Trail Court, a note should be placed on the final plat stating that Lot 1 is limited to one curb cut to Trippell Road, and Lot 2 is limited to one curb cut to Spanish Trail Court, with the size, location, and design of all curb cuts to be approved by the Mobile County Engineering Department and conform to AASHTO standards. Since Firetower Road South is a substandard right-of-way, a note should be placed on the final plat stating that Lot 2 is denied access to Firetower Road South. Also, both lots should be denied access to Interstate 10, and a note should be placed on the final plat stating such.

Lot sizes in acres were indicated on the plat and should also be indicated on the final plat, or there should be the provision of a table on the plat depicting the same information. Also, no note is on the plat referencing buffering between commercially developed property and residentially developed property; therefore, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

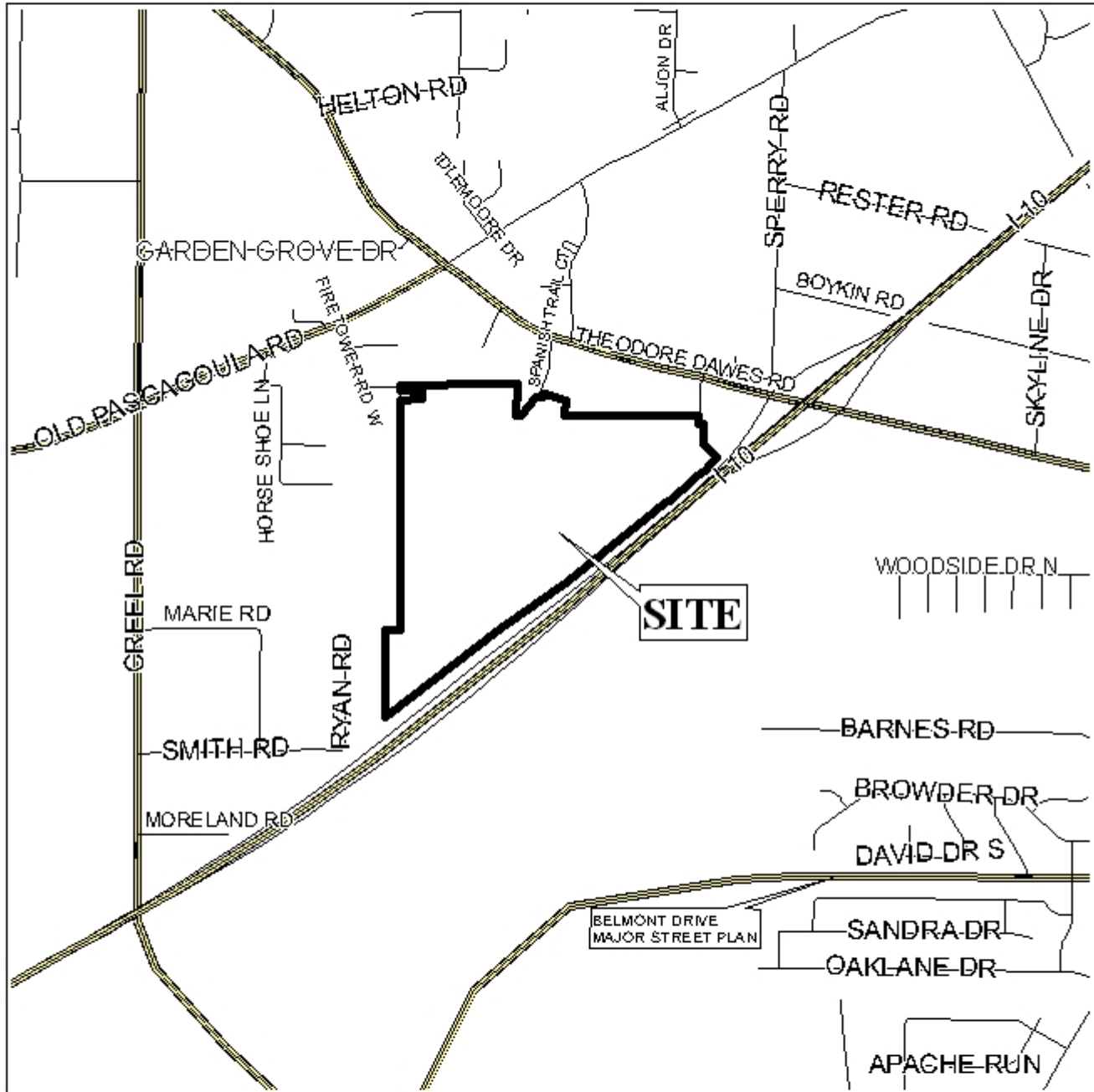
The site is in the unincorporated part of Mobile County; nevertheless, development should be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances. Submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits should be required. Certification should be submitted to the Planning Section of Urban Development and County Engineering.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) depiction of the 25' minimum building setback line along the West and South right-of-way lines of Trippell Road;
- 2) depiction of the 25' minimum building setback line along the Spanish Trail Court frontage;
- 3) depiction of the 25' minimum building setback line at the East terminus of Firetower Road South;
- 4) depiction of the 25' minimum building setback line along Interstate 10;
- 5) placement of a note on the final plat stating that Lot 1 is limited to one curb cut to Trippell Road, and Lot 2 is limited to one curb cut to Spanish Trail Court, with the size, location, and design of all curb cuts to be approved by the Mobile County Engineering Department and conform to AASHTO standards;
- 6) placement of a note on the final plat stating that Lot 2 is denied access to Firetower Road South;
- 7) placement of a note on the final plat stating that both lots are denied access to Interstate 10;
- 8) depiction on the final plat of the lot sizes in acreage, or provision of a table on the plat depicting the same information;
- 9) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and

- 10) placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning Section of Urban Development and County Engineering.

LOCATOR MAP



APPLICATION NUMBER 11 DATE September 20, 2007

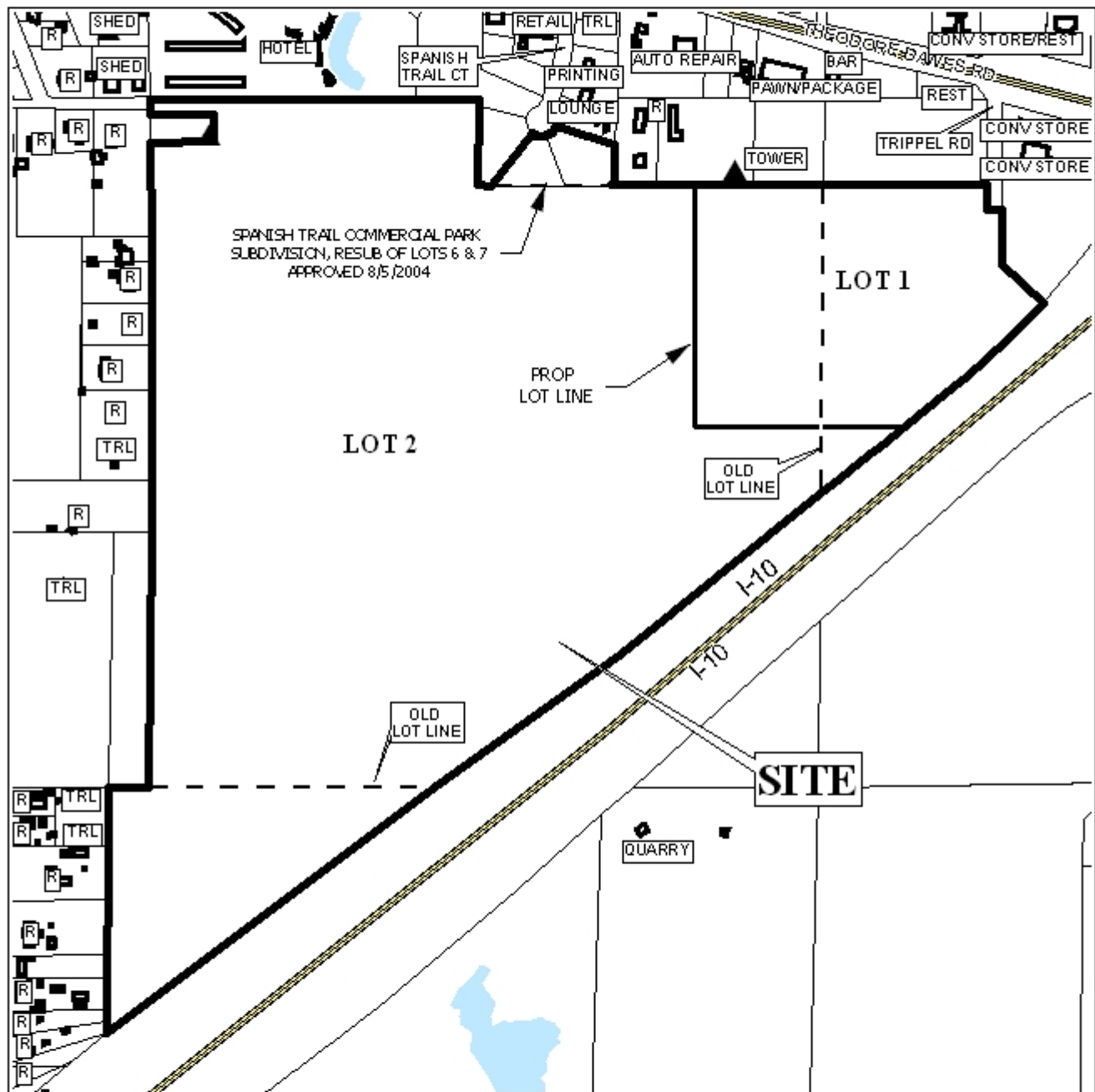
APPLICANT Johnson Development

REQUEST Subdivision



NTS

JOHNSON DEVELOPMENT SUBDIVISION



APPLICATION NUMBER 11 DATE September 20, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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