

**PLANNED UNIT DEVELOPMENT****Date: July 10, 2008****DEVELOPMENT NAME**

Cottage Hill Baptist Church

**LOCATION**

Southeast corner of Cottage Hill Road and North Demetropolis Road, extending to the North side of Thigpen Drive South, and, Southeast corner of North Demetropolis Road and Thigpen Drive South, extending to the North side of Troy Lane.

**FIRE DEPARTMENT  
COMMENTS**

No comments.

**PRESENT ZONING**

R-1, Single-Family Residential

**REMARKS**

The applicant is requesting a one-year extension of a previously approved Planned Unit Development to allow multiple buildings on a single building site with shared access and parking between sites.

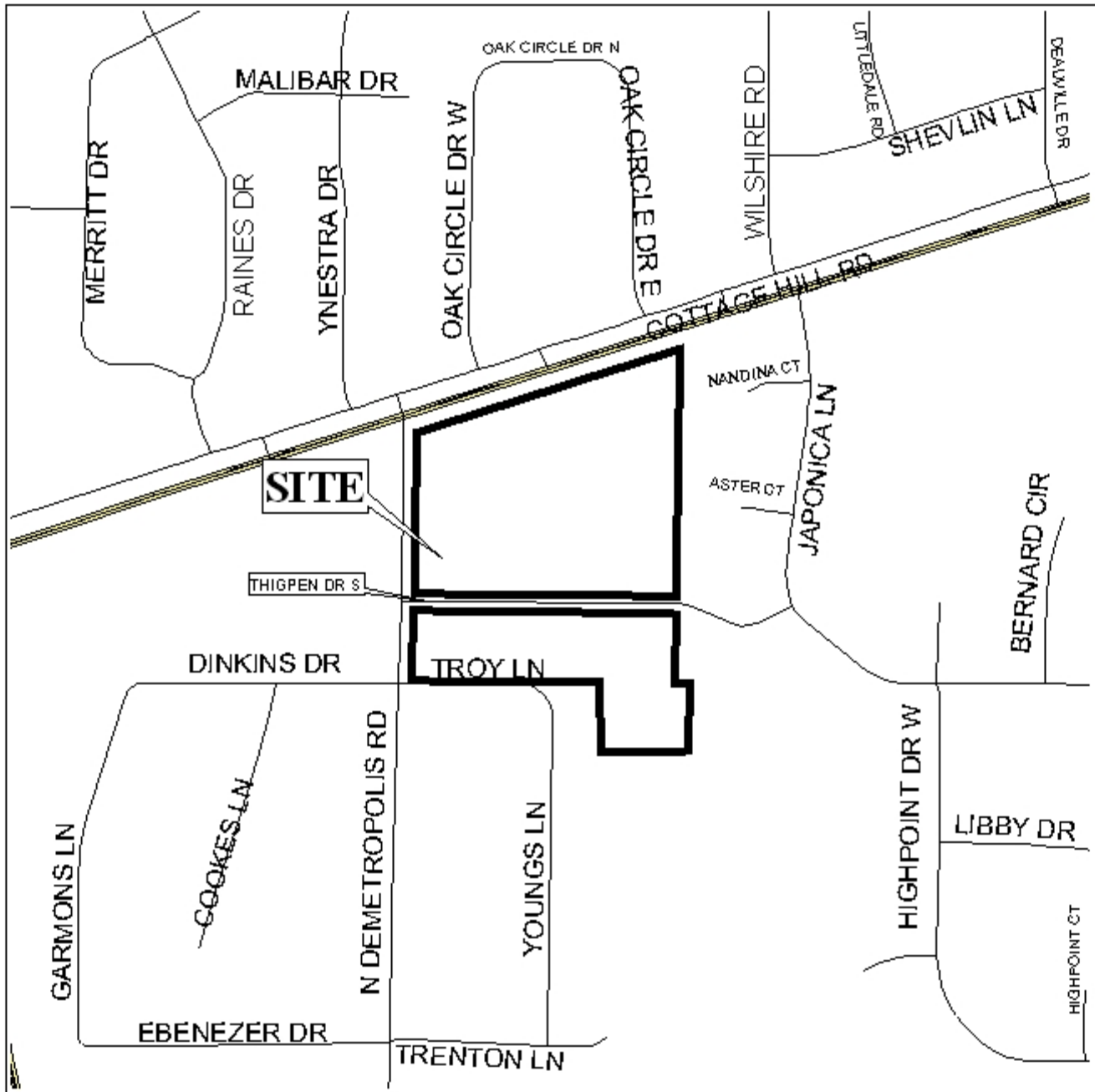
Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

This is the third extension requested by the applicant. The sanctuary addition covered in the original approval has been completed, but construction has not started on the proposed parking expansion and no plans have been submitted for such, hence this third request for extension. There has been no change in conditions within the surrounding area that would affect the approval as previously granted; nor have there been changes to the regulations that would affect the previous approval.

**RECOMMENDATION**

Based on the preceding, it is recommended that this request for an extension be approved, but the applicant should be advised that, unless permits for the undeveloped portions of the original approval are applied for, further extensions are unlikely.

# LOCATOR MAP



APPLICATION NUMBER 11 DATE July 10, 2008

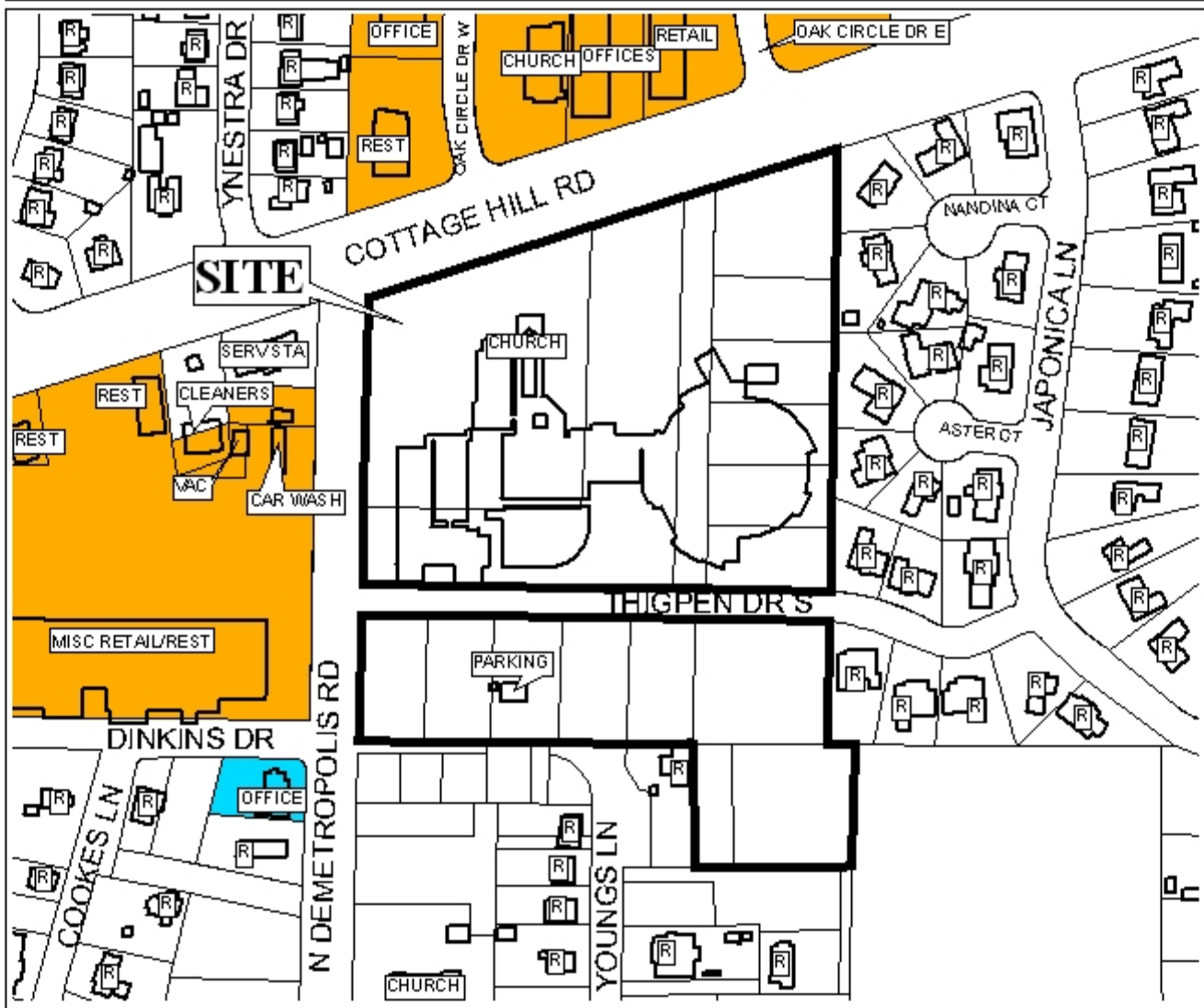
APPLICANT Cottage Hill Baptist Church

REQUEST Planned Unit Development



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by mixed land use

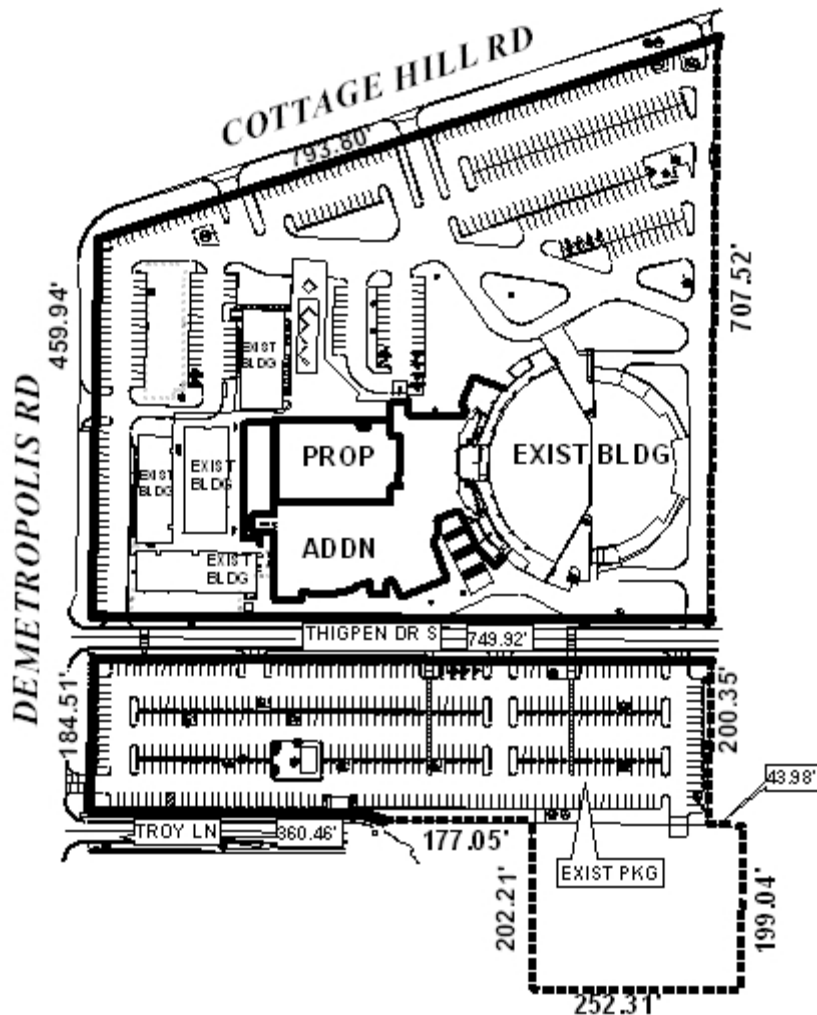
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LEGEND NTS

# SITE PLAN



The site plan illustrates the existing buildings, parking, drives, and landscaping along with the proposed buildings.

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