

EVERGREEN GARDENS SUBDIVISION, UNIT NO. 2,
RESUBDIVISION OF LOT 237

Engineering Comments: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1.0 acre \pm , 2 lot subdivision which is located on South side of Higgins Road, 630' \pm East of Todd Acres Drive, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create 2 legal lots of record from one existing legal lot of record.

The proposed lot will meet the minimum area requirements of the Subdivision Regulations. The lot size should be retained in square feet and acres on the Final Plat if approved.

The site has frontage onto Higgins Road a minor street without curb and gutter and with a right-of-way width of 55 feet. According to the Subdivision Regulations minor streets without curb and gutter should have a right of way width of 60 feet. The 25 feet setback line should be located to allow for future right-of-way dedication to provide 60 feet.

As a means of access management each lot should be limited to one curb-cut onto Higgins Road with the size design or location to be approved by Traffic Engineering and comply with AASHTO standards.

The proposed lots do not meet the standards for width-to-depth ratio. Section V.D.3 of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. It appears that there are several lots in the area that are similar in shape and size, approved by the Planning Commission in 1997 that are legal lots of record, therefore waiver of Section V.D.3. of the Subdivision regulations may be appropriate.

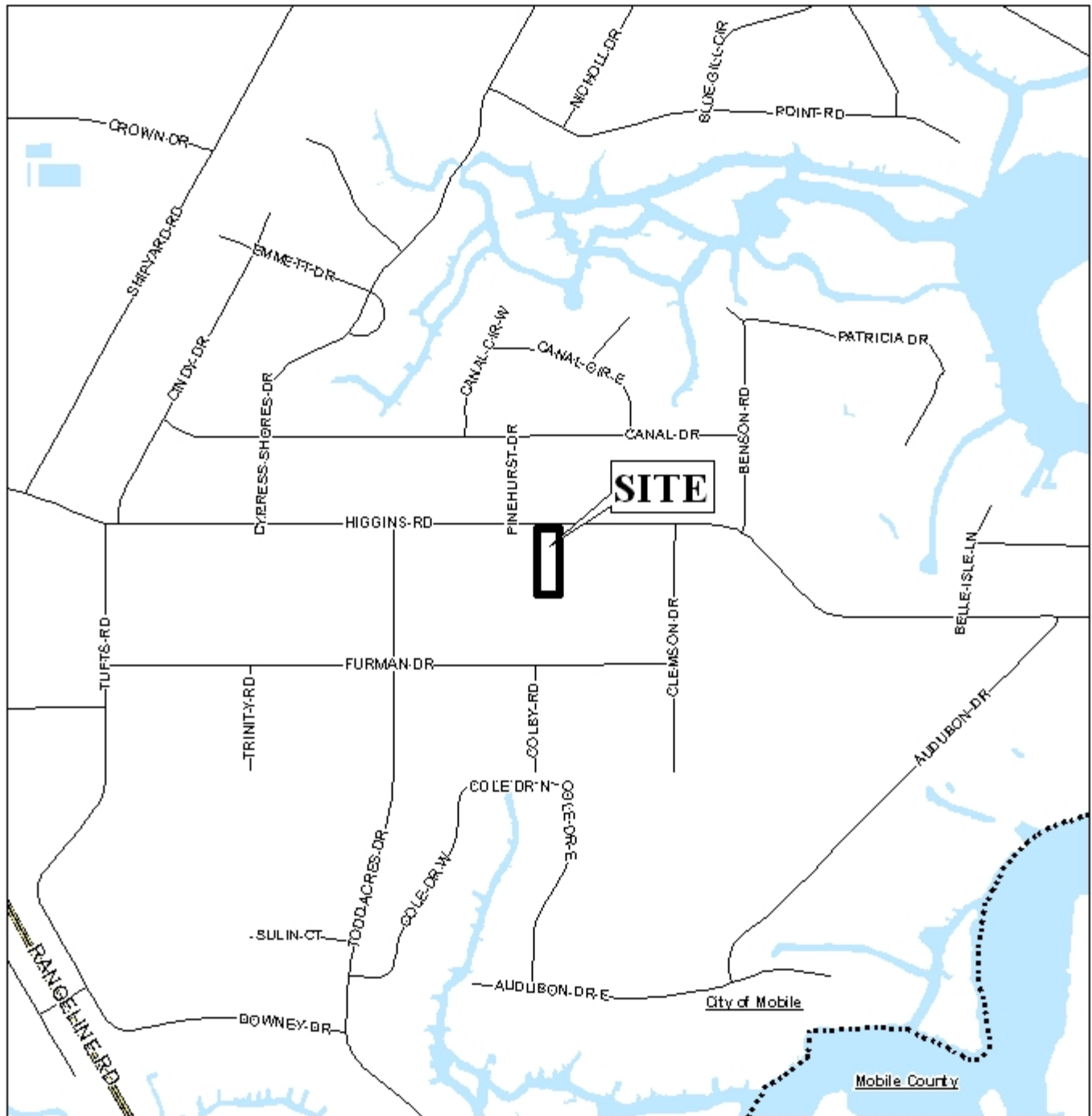
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The site appears to be located in flood plain areas associated with Dog River. Any development of the site must comply with local, state and federal regulations regarding floodplain development.

Based upon the preceding, and with a waiver of Section V.D.3. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that each lot is limited to one (1) curb-cut each, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) depiction of the 25-foot minimum building setback line, to allow for future dedication as required by Section V.D.9. of the Subdivision Regulations;
- 3) the labeling of each lot with its size in square feet, or placement of a table on the plat with the same information;
- 4) compliance with Engineers comments: 1. *Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).* 2. *Provide a signature block and signature from the Traffic Engineering Department.* 3. *Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).*
- 5) compliance with Fire comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of mobile;
- 6) approval of all applicable federal, state and local agencies for flood plain issues prior to the issuance of any permits or land disturbance activities;
- 7) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 8) full compliance with all other municipal codes and ordinances.

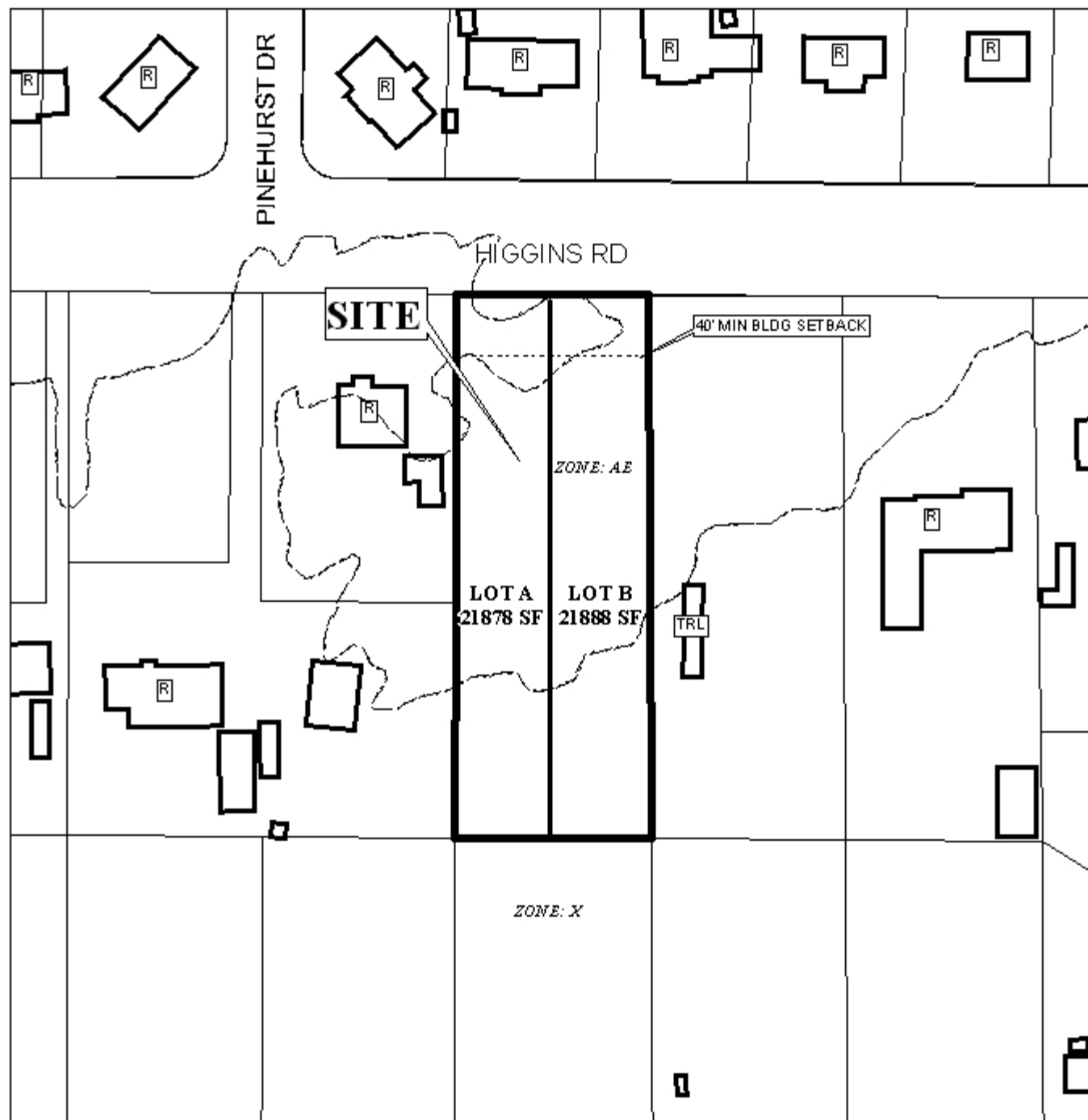
LOCATOR MAP



APPLICATION NUMBER 11 DATE March 7, 2013
 APPLICANT Evergreen Gardens Subdivision, Unit No. 2, Resubdivision of Lot 237
 REQUEST Subdivision

N
 NTS

EVERGREEN GARDENS SUBDIVISION, UNIT NO. 2, RESUBDIVISION OF LOT 237



APPLICATION NUMBER 11 DATE March 7, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

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