

EVERGREEN GARDENS SUBDIVISION, **UNIT TWO, RESUBDIVISION OF LOT 162**

Engineering Comments: Show Minimum FFE on each lot shown on plat. Fill is not allowed without providing compensation or completing a flood study. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 3 lot, 1.0 acre \pm subdivision which is located at 4225 Higgins Road (Southwest corner of Higgins Road and Todd Acres Drive), and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide a legal lot of record that was originally approved by the Planning Commission on December 8, 1952, into 3 legal lots of record.

The proposed lots meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is indicated on the plat and should be retained on the final plat. The proposed lots also have adequate frontage along a public right-of-way.

The site fronts Higgins Road to the North and Todd Acres Drive to the East. Higgins Road is a minor street provided with adequate right-of-way; as such, no further dedication should be required. Therefore, the notation regarding a "10-[foot] easement for future right-of-way widening" should be deleted. At least a 25-foot minimum building setback line should be depicted along Higgins Road. Todd Acres Drive is a minor street, not provided with curb and gutter. The street is depicted on the plat as having a 50-foot right-of-way. Section V.B.14 of the Subdivision Regulations requires a minor street, not provided with curb and gutter, to have a right-of-way of at least 60 feet. The plat indicates that a covered porch structure on the proposed Lot 1 exists less than one foot from the right-of-way line of Todd Acres Drive. The plat does not depict any other structures. As such, a setback line of 25 feet (5 feet for future widening and 20 feet for the required side yard as per Section 64-4.D.3 of the Zoning Ordinance) should be depicted on the plat. For the proposed Lots 2 and 3, a setback line of 30 feet (5 feet for future widening, and a standard 25-foot building setback) is depicted and should be retained on the final plat, if approved.

The proposed Lots 1 and 2 are depicted with existing curb cuts to Todd Acres Drive. As such, these lots should be limited to the existing curb cuts. The proposed Lot 3 is not depicted with an existing curb cut, and should be limited to one curb cut the Todd Acres Drive, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards.

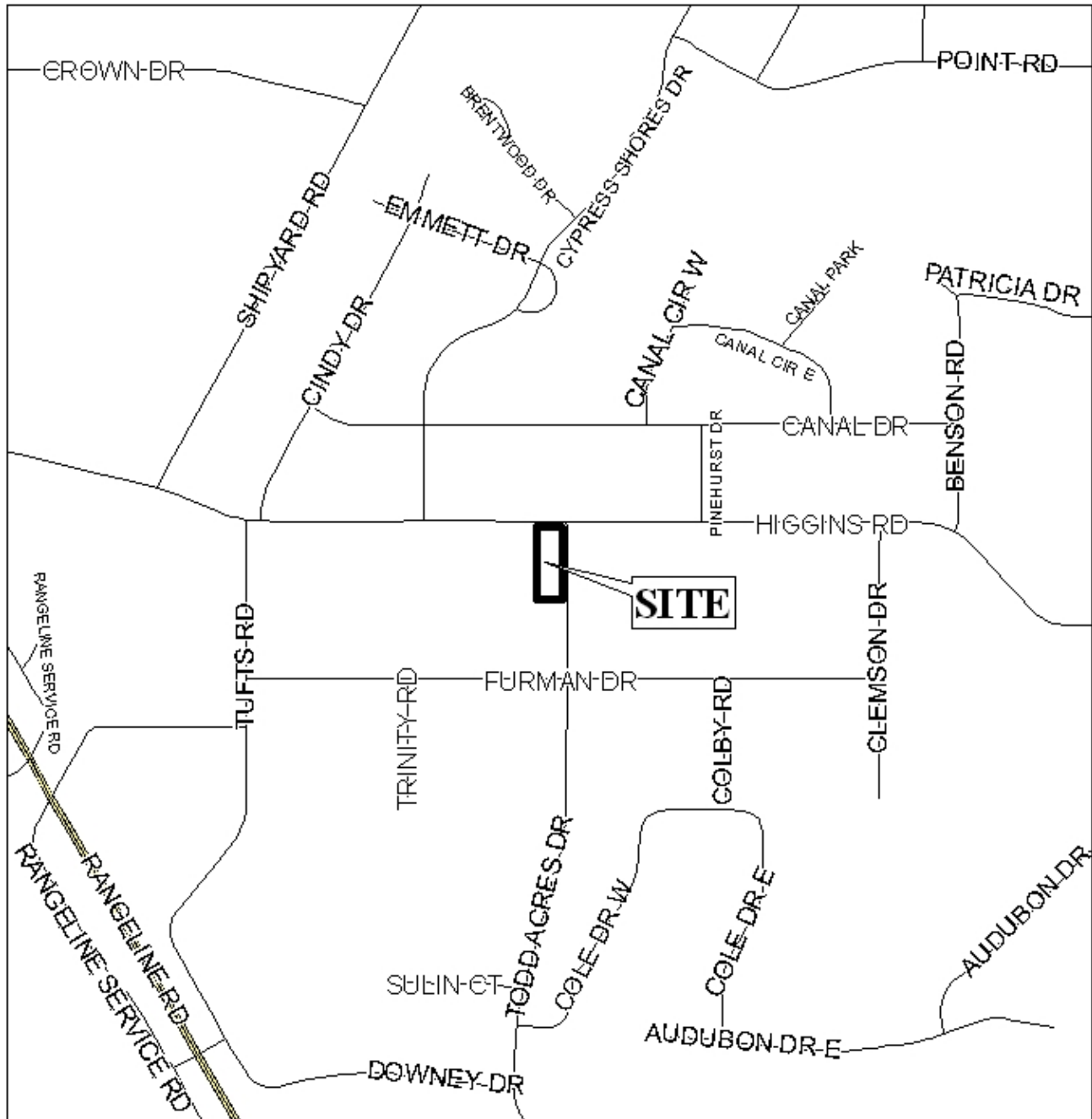
Part of the site appears to be within a FEMA recognized floodplain. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Retention of the labeling of the size of the lot, in square feet, or provision of a table on the plat with the same information;
- 2) Deletion of the notation regarding dedication along Higgins Road;
- 3) Depiction of at least a 25-foot minimum building setback line along Higgins Road;
- 4) Depiction of at least a 25-foot minimum building setback line along Todd Acres Drive for Lot 1;
- 5) Depiction of at least a 30-foot minimum building setback line along Todd Acres Drive for Lots 2 and 3;
- 6) Placement of a note on the final plat limiting Lots 1 and 2 to the existing curb cuts and limiting Lot 3 to one curb cut with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards;
- 7) Compliance with City Engineering comments: *Show Minimum FFE on each lot shown on plat. Fill is not allowed without providing compensation or completing a flood study. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit;*
- 8) Placement of a note on the final plat stating that approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits;
- 9) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 10) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 11 DATE June 18, 2009
 Evergreen Gardens Subdivision, Resubdivision of Lot 162,
 APPLICANT Unit No. 2
 REQUEST Subdivision



**EVERGREEN GARDENS SUBDIVISION, RESUBDIVISION OF
LOT 162, UNIT NO. 2**



APPLICATION NUMBER 11 DATE June 18, 2009

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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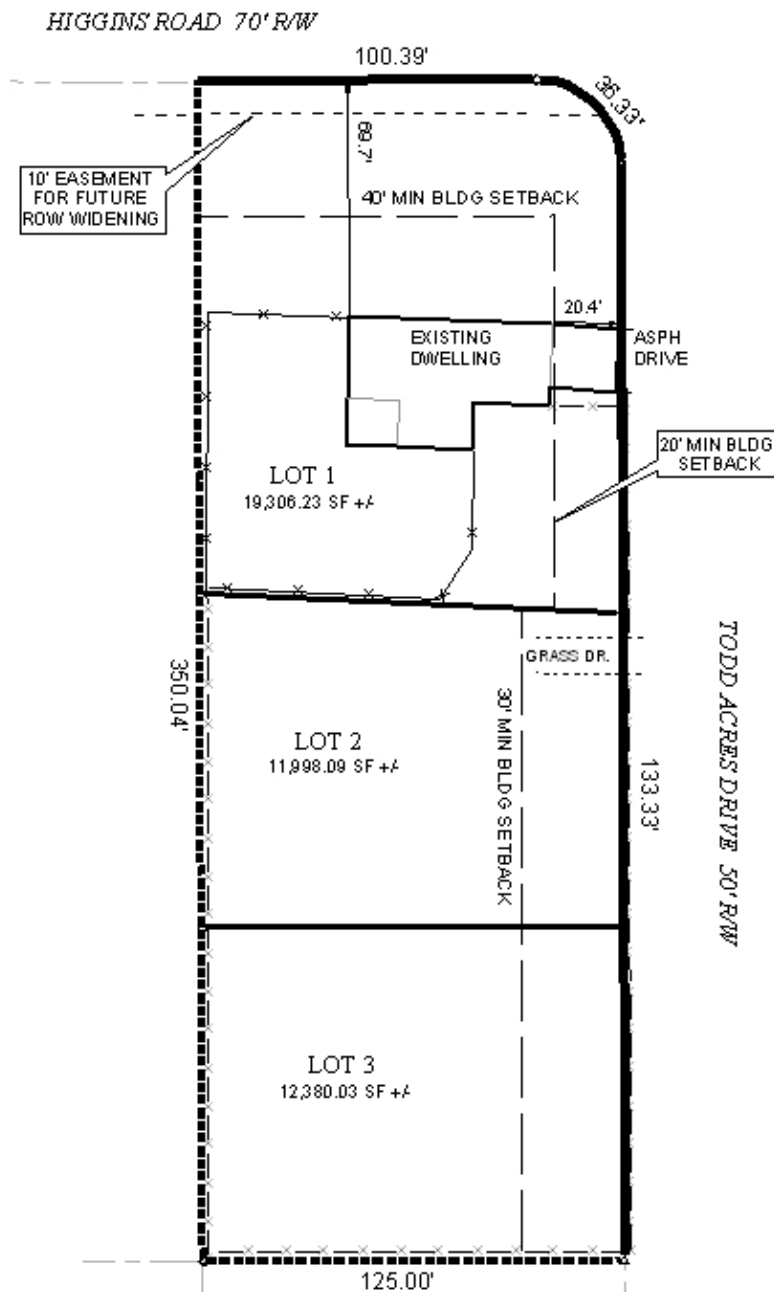
EVERGREEN GARDENS SUBDIVISION, RESUBDIVISION OF
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DETAIL SITE PLAN



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