

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: September 4, 2014****DEVELOPMENT NAME**

Eastridge Place Subdivision, Resubdivision of Lots 8-12

SUBDIVISION NAMEEastridge Place Subdivision, Resubdivision of Lots 8-12,
Plus Walston Property**LOCATION**

East terminus of Eastridge Place.

**CITY COUNCIL
DISTRICT**

District 6

AREA OF PROPERTY

5 Lots / 1.5± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to adjust boundary lines for five existing lots, increase site coverage, and adjust front and side yard setbacks, and Subdivision approval to resubdivide five existing lots of record and one metes-and-bounds parcel into five legal lots of record.

**TIME SCHEDULE
FOR DEVELOPMENT**

None given.

**ENGINEERING
COMMENTS**

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- E. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- F. Show and label each and every Right-Of-Way and easement.

- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate and Signature.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- L. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Given the limited lot frontage for Proposed Lot D, the encroachment of the driveway from Lot E, and the power transformer, it may be in the owner's best interest to coordinate the location of the driveway for Lot D and include its location on the PUD.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS COMMENTS**REMARKS**

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to adjust boundary lines for five existing lots, increase site coverage, and adjust front and side yard setbacks, and Subdivision approval to resubdivide five existing lots of record and one metes-and-bounds parcel into five legal lots of record. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer services.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site consists of Lots 8-12 of Eastridge Place Subdivision, approved by the Commission in 1996, and one land-locked metes-and-bounds parcel adjacent to the East end of the subdivision. The subject lots were recorded with 50' widths with zero lot line setbacks along the East sides for Lots 9-12, and 8' side yards along the West sides. Lot 8, the Eastern-most lot, was recorded with 8' setbacks on both sides. All lots had 20' front yard setbacks and a 20' easement for ingress and egress along the rear for their access and to the land-locked metes-and-bounds parcel at the East end. The standard 35% maximum site coverage limit for R-1, Single-Family Residential properties applied. In 2003, the Commission approved a Planned Unit Development for Lots 3-5 and 8-13 of Eastridge Subdivision to increase the site coverage allowance to 45%. All of the subject recorded lots are still vacant, but the metes-and-bounds parcel is developed.

The applicant now proposes to resubdivide and expand the five recorded lots into four lots (Lots A-D), and to create public street frontage along Eastridge Place for the fifth lot (Lot E) which is currently the metes-and-bounds parcel. The existing 20' rear ingress and egress easement is proposed to be eliminated East of existing Lot 13 and access to the four new resubdivided lots will also be strictly via Eastridge Place.

All lots will meet the minimum size requirements of the Subdivision Regulations. Lots A, B and C would be 65' wide, and Lot D would be 70' wide at the building setback line. Lots A-D would have 5' side yards on both sides, with 10' of combined side yards, less than the 20' required by the Zoning Ordinance, and would still have 45% maximum site coverage. A 30' front minimum building setback line is proposed and a standard 8' rear setback is proposed. Lot E is not part of

the PUD and would be compliant with regard to setbacks and would be limited to the standard 35% maximum site coverage. However, Lot E could effectively be considered a flag lot due to its foreshortened “pole” at the street frontage and it would be less than 60’ wide at the building setback line. Due to agreements between property owners to settle a lengthy dispute, Lot E cannot be given more than the proposed 22’ of public street frontage; therefore, a waiver of Section V.D.1. of the Subdivision Regulations would be required. As for the required 60’ minimum lot width at the building setback line, there is sufficient area on Lot E to adjust the setback line further inward to achieve the required 60’ width.

As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Eastridge Place, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. A note should also be required on the Final Plat stating that Lot A is denied access to the remaining portion of the 20’ easement for ingress and egress to the West.

The lots are labeled with their sizes in square feet on the plat. The plat should be revised to label all lots with their sizes in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Two copies of a revised site plan incorporating all conditions of approval for the PUD should be furnished to and approved by Planning prior to signing the Final Plat for the Subdivision.

RECOMMENDATION

Subdivision: With a waiver of Section V.D.1, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) retention of all building setback lines, as proposed, for Lots A-D;
- 2) revision of the minimum building setback line for Lot E so as to be measured where the lot is at least 60’ wide, and retention of all other setbacks for that lot;
- 3) placement of a note on the Final Plat stating that Lots A-D are limited to 45% maximum site coverage;
- 4) placement of a note on the Final Plat stating that Lot E is limited to 35% maximum site coverage;
- 5) placement of a note on the Final Plat stating that all lots are limited to one curb cut to Eastridge Place, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) placement of a note on the Final Plat stating that Lot A is denied access to the remaining portion of the 20’ easement for ingress and egress to the West;
- 7) revision of the plat to label all lots with their sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;

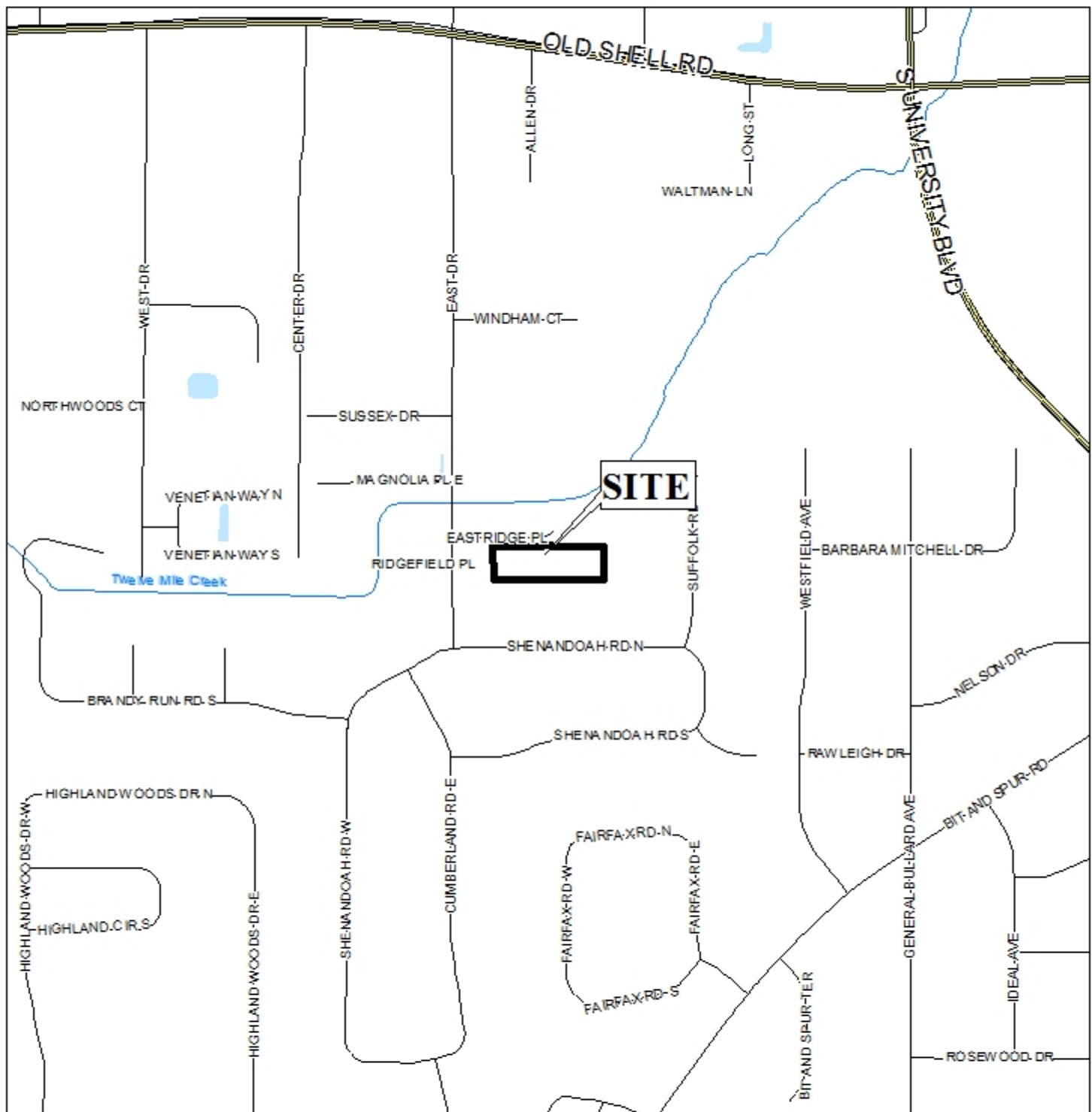
- 8) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) compliance with the Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: 1) Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. 2) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity. 3) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. 4) Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. 5) Provide a written legal description for the proposed subdivision and matching bearing and distance labels. 6) Show and label each and every Right-Of-Way and easement. 7) Provide and label the monument set or found at each subdivision corner. 8) Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. 9) Provide the Surveyor's Certificate and Signature. 10) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 11) Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. 12) Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.)*
- 10) compliance with the Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Given the limited lot frontage for Proposed Lot D, the encroachment of the driveway from Lot E, and the power transformer, it may be in the owner's best interest to coordinate the location of the driveway for Lot D and include its location on the PUD.);*
- 11) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).];*
- 12) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.); and*
- 13) furnishing and approval of two (2) copies of a revised PUD site plan incorporating all conditions of approval of the PUD to Planning prior to the signing of the Final Plat.

Planned Unit Development: Based upon the preceding, the PUD application is recommended for approval, subject to the following conditions:

- 1) retention of all building setback lines, as proposed, for Lots A-D;

- 2) revision of the minimum building setback line for Lot E so as to be measured where the lot is at least 60' wide, and retention of all other setbacks for that lot;
- 3) placement of a note on the site plan stating that Lots A-D are limited to 45% maximum site coverage;
- 4) placement of a note on the site plan stating that all lots are limited to one curb cut to Eastridge Place, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) placement of a note on the site plan stating that Lot A is denied access to the remaining portion of the 20' easement for ingress and egress to the West;
- 6) revision of the site plan to label all lots with their sizes in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 7) placement of a note on the site plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) compliance with the Engineering comments: ***(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.);***
- 9) compliance with the Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. . Given the limited lot frontage for Proposed Lot D, the encroachment of the driveway from Lot E, and the power transformer, it may be in the owner's best interest to coordinate the location of the driveway for Lot D and include its location on the PUD.);*
- 10) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).];*
- 11) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 12) full compliance with all municipal codes and ordinances; and
- 13) furnishing and approval of two (2) copies of a revised PUD site plan incorporating all conditions of approval of the PUD to Planning prior to the signing of the Final Plat.

LOCATOR MAP



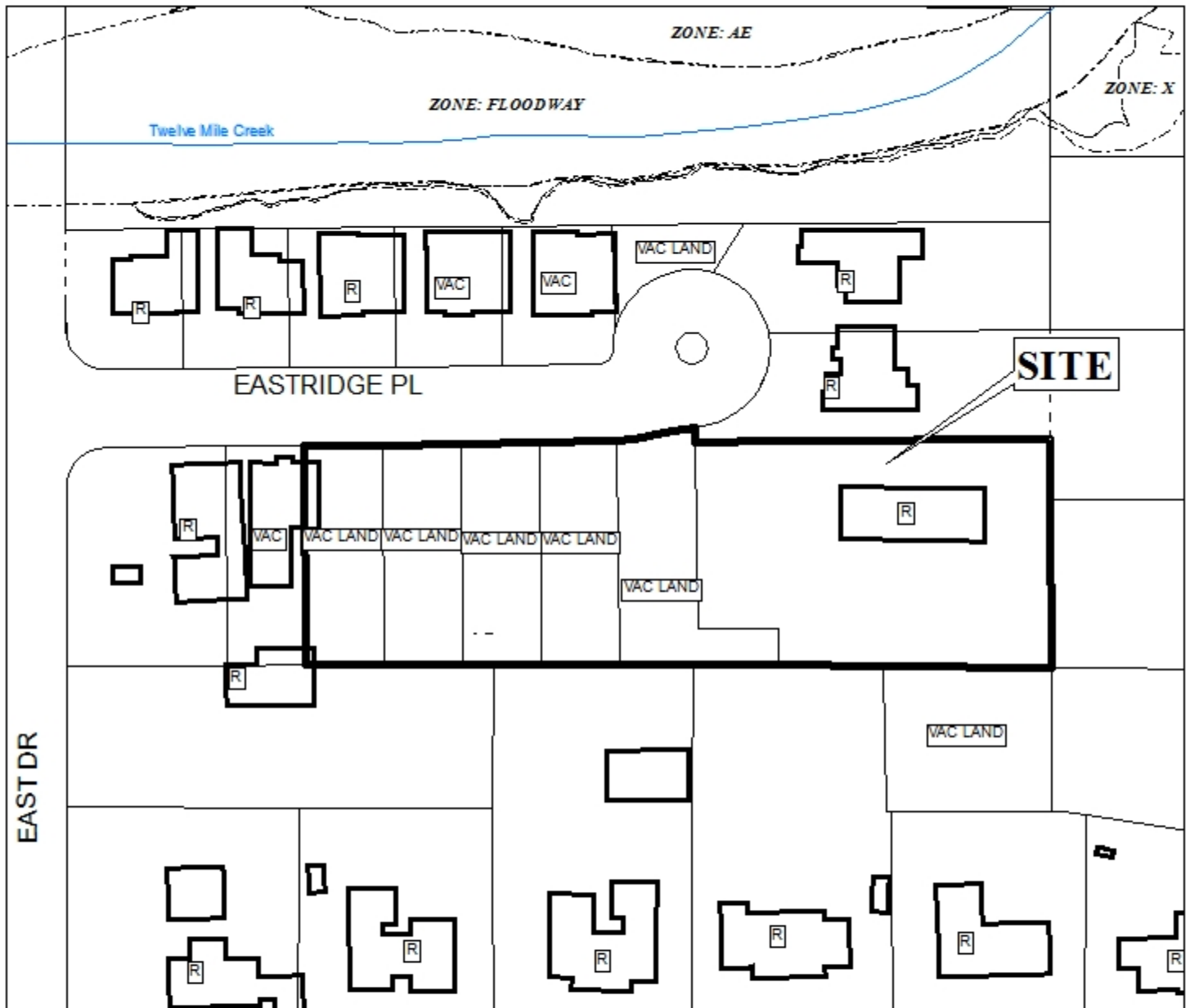
APPLICATION NUMBER 11 DATE September 4, 2014

APPLICANT Eastridge Place Subdivision, Resubdivision of Lots 8 through 12, Plus Walston

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



























The site is surrounded by single-family residences.

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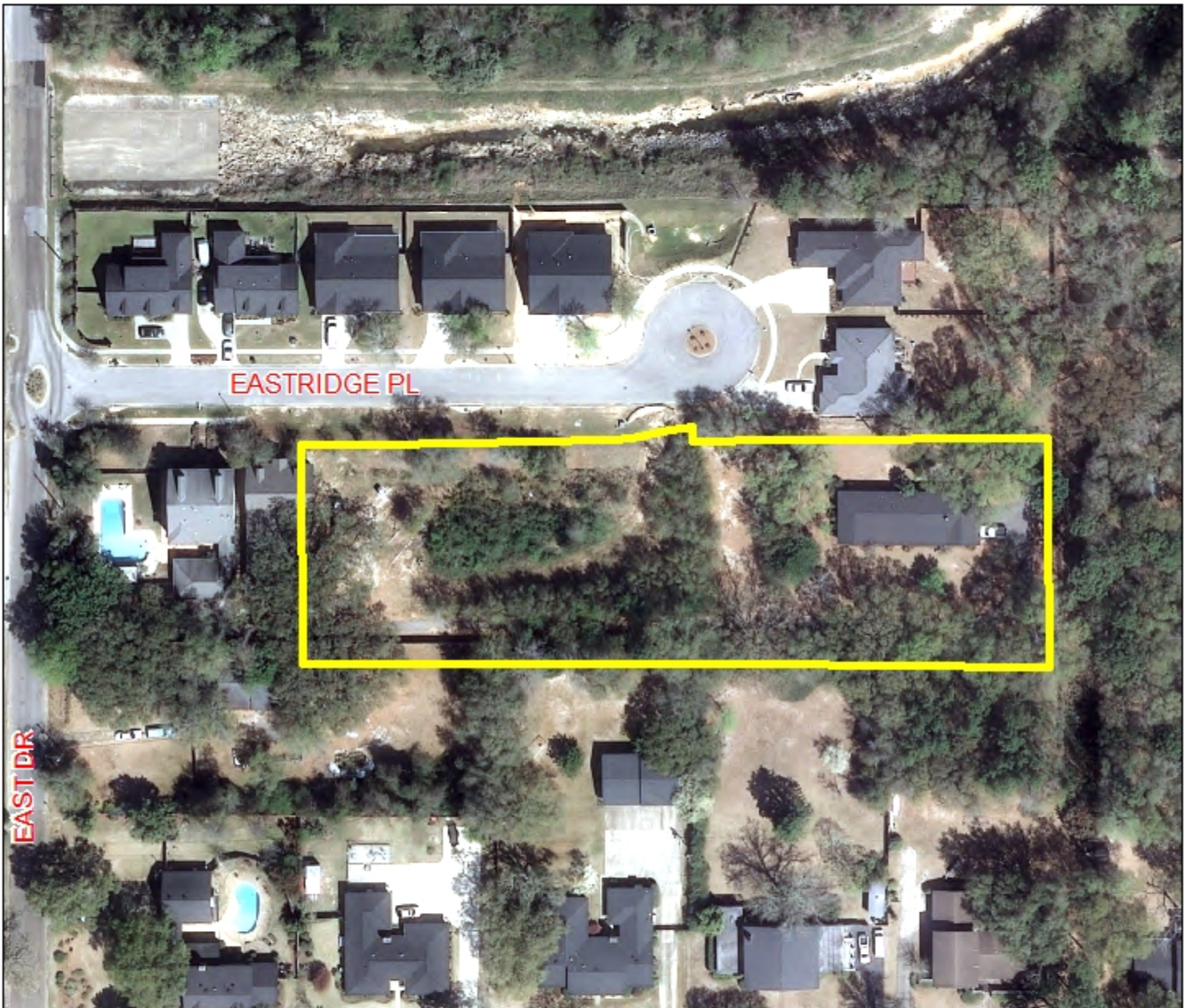
REQUEST _____ Subdivision, Planned Unit Development

 R-A
  R-3
  T-B
  B-2
  B-5
  MUN
  SD-WH
  T5.1
 R-1
  R-B
  B-1
  B-3
  I-1
  OPEN
  T3
  T5.2
 R-2
  H-B
  LB-2
  B-4
  I-2
  SD
  T4
  T6



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residences.

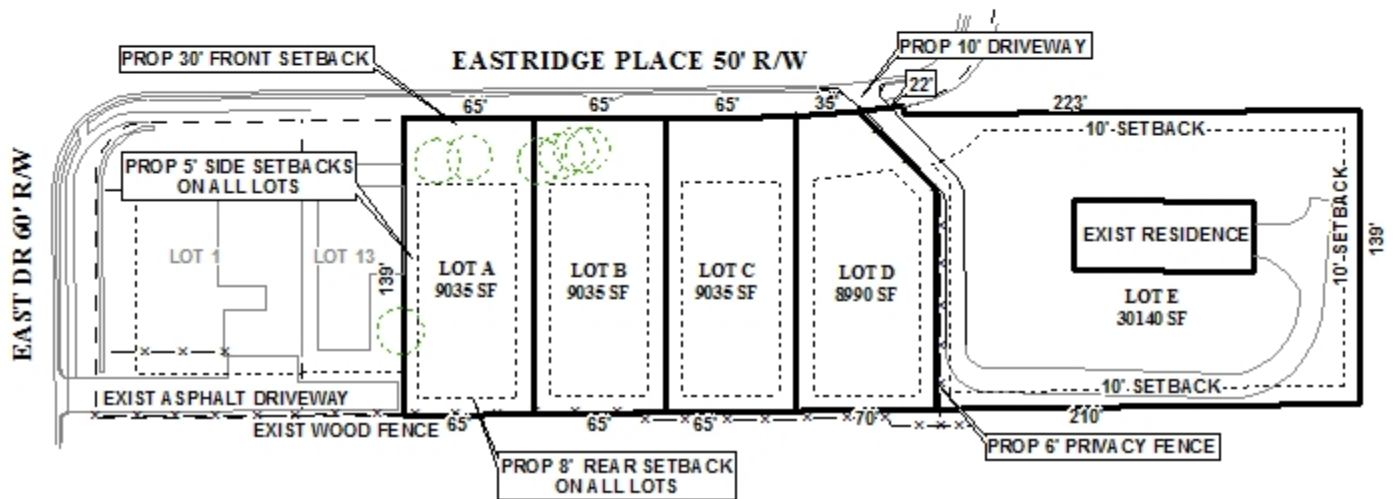
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REQUEST Subdivision, Planned Unit Development



SITE PLAN



The site plan illustrates the proposed lot configuration, setbacks, driveways, and fencing.

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REQUEST Subdivision, Planned Unit Development

