

**DAWES ROAD ACRES SUBDIVISION,**  
**FIRST ADDITION, BLOCK "A",**  
**RESUBDIVISION OF LOT 2**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2.8± acre, 3-lot subdivision, which is located on the East side of Dawes Road, 670'± South of McKinnell Road, extending to the East side of McKinnell Road, 785'± South of Dawes Road. The site is served by public water and sanitary sewer.

The purpose of the application is to create three lots from an existing lot of record.

The site fronts Dawes Road, with a right-of-way of 60 feet, and McKinnell Road, with a right-of-way of 30 feet. Both of these roads are substandard in width and will require dedication; for Dawes Road, a planned major street, dedication sufficient to provide 50 feet from the centerline would be required, and for McKinnell Road, dedication sufficient to provide 25 feet from the centerline would be required. The final plat should illustrate the 25-foot setback as measured from the property line after dedication.

As a means of access management, each lot should be limited to a single curb cut, with size, location, and design to be approved by County Engineering.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions: 1) dedication of sufficient right-of-way to provide 50 feet from the centerline of Dawes Road and 25 feet from the centerline of McKinnell Road; 2) the illustration of the 25-foot setback lines as measured from the property line after dedication; 3) the placement of a note on the final plat stating that each lot is limited to a single curb cut, with size, location, and design to be approved by County Engineering; and 4) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

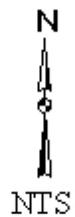
# LOCATOR MAP



APPLICATION NUMBER 11 DATE December 15, 2005

APPLICANT Dawes Road Acres Sub, First Add., Resub of Lot 2, Block "A"

REQUEST Subdivision



# DAWES ROAD ACRES SUBDIVISION, FIRST ADDITION, RESUBDIVISION OF LOT 2, BLOCK "A"



APPLICATION NUMBER 11 DATE December 15, 2005

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS