

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: May 20, 2013****DEVELOPMENT NAME**

DAA Acquisitions of Alabama

LOCATION3030 McVay Drive North
(East side of McVay Drive North, 2/10± mile South of U.S.
Highway 90).**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

1 Lot / 13.8± Acres

CONTEMPLATED USEPlanned Unit Development Approval to amend a
previously approved Planned Unit Development to allow
multiple buildings on a single building site and reduced
front landscaping requirements.**TIME SCHEDULE
FOR DEVELOPMENT**

Upon approval.

**ENGINEERING
COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work – including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

**TRAFFIC ENGINEERING
COMMENTS**Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

REMARKS

The applicant is requesting Planned Unit Development approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and reduced front landscaping requirements.

The site is used for automobile auctions. In September, 2010, a PUD was approved for the site to allow multiple buildings on a single building site. In December, 2011, an amended PUD application was submitted to allow a two-phase expansion of the site, and to allow a reduction in front landscaping requirements. However, only Phase One, a 210-space inventory vehicle parking expansion was approved, and its development has been completed. The area originally proposed as Phase Two was not approved and was revised to be frontage landscaping area along McMaie Drive. The subsequently approved PUD for Phase Two allowed 195 additional parking spaces for inventory vehicles, reduced frontage landscaping, and a future 6,000 square-foot building to be used for vehicle servicing and detailing and office space. As the building was indicated to be future and not part of that request, and was indicated within the area of the proposed parking expansion, a further PUD was required to be submitted when construction is proposed for that building, as well as any future dumpsters. The applicant now desires to pursue construction of the proposed building, add an additional dumpster and modify the parking in the Phase Two area, and re-orient and re-stripe the inventory vehicle parking in the Phase One area, as well as remove/re-build and change the use of a 20' by 60' portion of the main building in that area.

Pertaining to the request to allow the construction of the proposed 6,000 square-foot service/detail building, as such was shown same size/same place in the previously approved PUD and conditioned upon this amended PUD, it would stand that such be approved as a matter of formality. Also, the proposed new dumpster in the Phase Two area is indicated as per a condition of the previously approved PUD which required a new PUD to allow for such. However, the site plan should be revised to indicate a compliant enclosure and connection to the sanitary sewer for this dumpster. Other aspects revised within the Phase Two area include a reduction of the inventory vehicle parking and a slight re-orientation of such parking due to the footprint of the proposed building. The furnished required parking calculations for the proposed

building should be revised to be based upon Zoning Ordinance requirements and not Occupancy Class requirements. This may increase the number of required employee parking spaces; however, with the large number of inventory vehicle parking spaces provided, a slight shift in parking designations would be possible.

The proposed removal/re-build of the 20' by 60' portion of the existing main building within the Phase One area would be same size/same place with only a change in the use of that portion from service/detail to an auction aisle. The inventory parking layout within the Phase One area would be modified from the previously approved North-South aisle orientation to a generally East-West aisle orientation, with a slight increase in the number of inventory vehicle parking spaces.

The reduced frontage landscaping requirement remains the same as in the previously approved PUD for the site, and tree planting requirements remain the same. There is only a slight reduction in the total landscaping provided for the site, but it remains well above the total requirement for such.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The applicant has adhered to the conditions of approval of the previous PUD and this amended PUD should be considered for approval, subject to slight revisions and conditions.

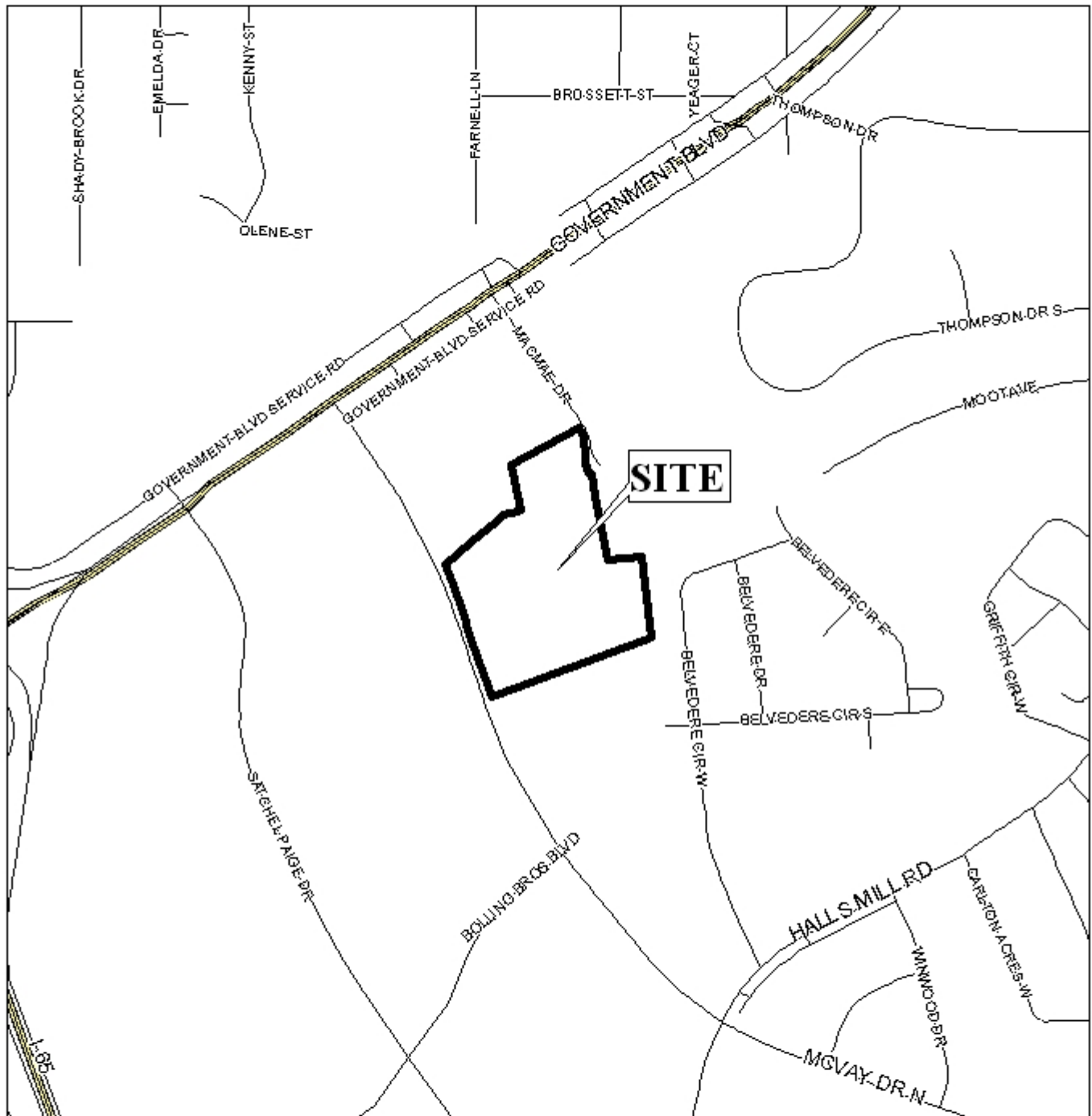
RECOMMENDATION

Planned Unit Development: Based upon the preceding, the request to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and reduced front landscaping requirements is recommended for approval, subject to the following conditions:

- 1) revision of the site plan to indicate a compliant enclosure around and sanitary sewer connection for the proposed new dumpster location in the Phase Two area;
- 2) revision of the required parking calculations for the proposed building in the Phase Two area to be based upon Zoning Ordinance requirements and not Occupancy Class requirements;
- 3) placement of a note on the site plan stating that the placement of additional dumpsters on the site will require a new PUD submittal;
- 4) compliance with Traffic Engineering comments: (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards*);

- 5) compliance with Engineering comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work – including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*
- 6) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 7) submission of two copies of a revised site plan to Planning indicating compliance with the above conditions;
- 8) full compliance with all municipal codes and ordinances; and
- 9) submission of a new PUD application prior to the construction of any proposed new buildings in the future.

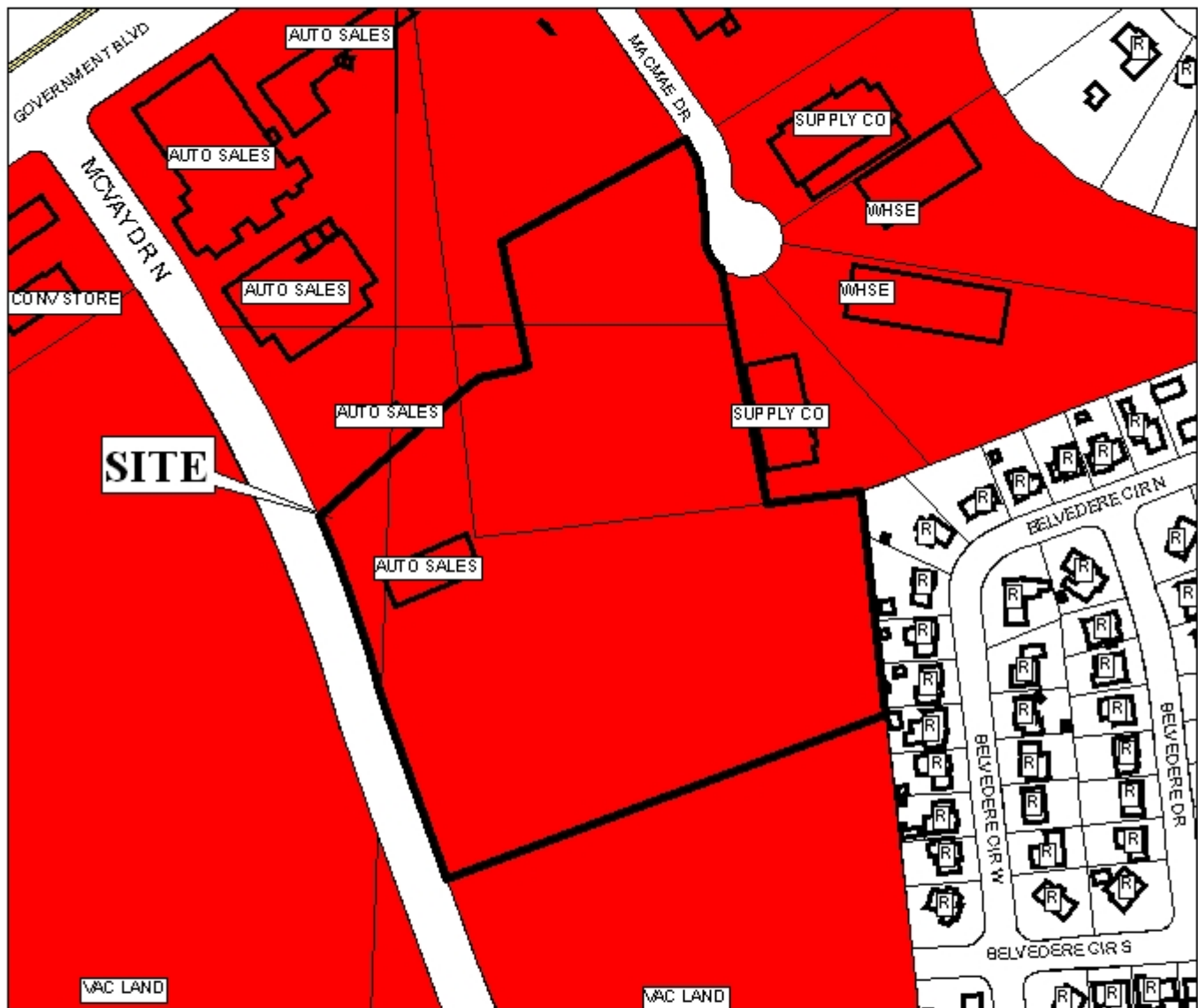
LOCATOR MAP



APPLICATION NUMBER 11 DATE May 2, 2013
APPLICANT DAA Acquisition of Alabama
REQUEST Planned Unit Development

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the east of the site. Business land use is located to the north of the site.

APPLICATION NUMBER 11 DATE May 2, 2013

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LEGEND NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

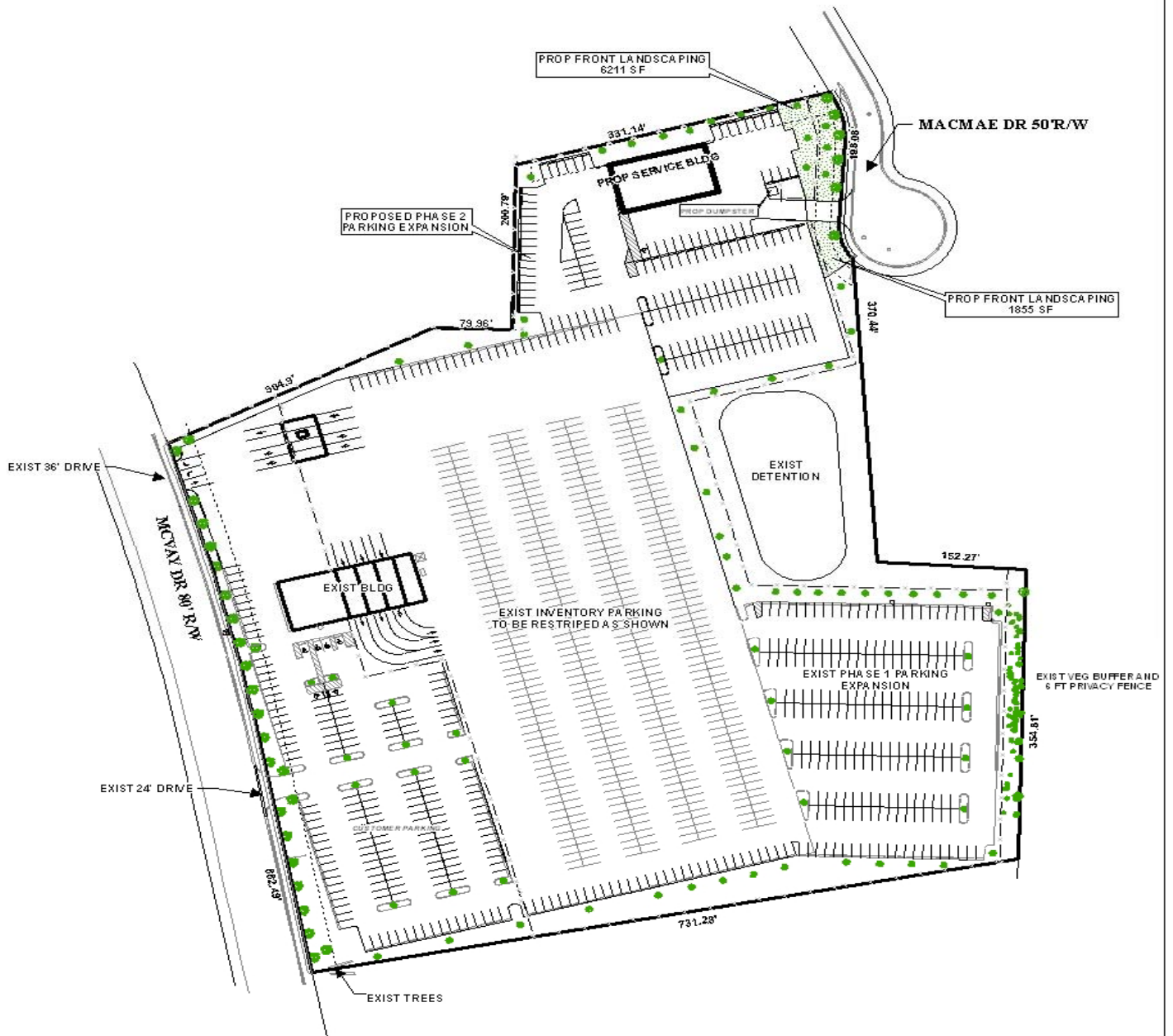


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SITE PLAN



The site plan illustrates the existing development, proposed building, and proposed parking expansion.

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