

CRAFT ACRES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has **NO** water or sewer services available.

The plat illustrates the proposed 2-lot, 13.4± acre subdivision which is located at the West side of Dykes Road North, 6/10 ± mile South of Tanner Williams Road, and is located within the Planning Jurisdiction. The applicant does not state if the subdivision is served by public water and sanitary sewer system or other means: each proposed lot will be large enough to allow well water and on-site septic systems.

The purpose of this application is to create two legal lots of record from two legal lots of record. The subdivision was previously approved with a waiver of Section V.D.3 of the Subdivision Regulations by the Planning Commission at its March 1, 2012 meeting. The applicant is now proposing to adjust the location of the interior lot lines for the proposed Lot 1A and Lot 2A.

The site is located on Dykes Road North, which is a minor street with no curb and gutter. As such, there should be a 60' right-of way. The preliminary plat illustrates a variable right-of-way for Dykes Road North. A 30' right-of-way is illustrated from the centerline of Dykes Road North, thus no dedication is required. If approved, the 30' right-of-way should be retained on the Final Plat.

As a mean of access management, a note should be placed on the Final Plat limiting each lot to one curb cut to Dykes Road North, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

It should be noted that the proposed Lot 2A will not meet the standards for width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, Lot 2A will be 234' wide at the setback line and 1259' deep, resulting in a lot that is approximately 438' deeper than would normally be allowed. However, it appears that there are several legal lots of record in the area that were recorded prior to the area being included in the Planning Jurisdiction. Because it is in keeping

with the character of the surrounding area, it appears a waiver of Section V.D.3. of the Subdivision Regulations may be appropriate.

It should be noted that the proposed Lot 2A does appear to be flag lot. In addition, due to the 234' of available road frontage the possible subdividing of Lot 2A is of some concern. No restrictions should be considered at this time, however due to the large size of property, any additional subdividing may pose a problem in the future.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

The lot sizes are labeled in acres on the preliminary plat. This information should be retained on the Final Plat, if approved.

The 25-foot minimum building setback is shown on the preliminary plat as required by Section V.D.9. of the Subdivision Regulations. If approved, this should be depicted on the Final Plat as well.

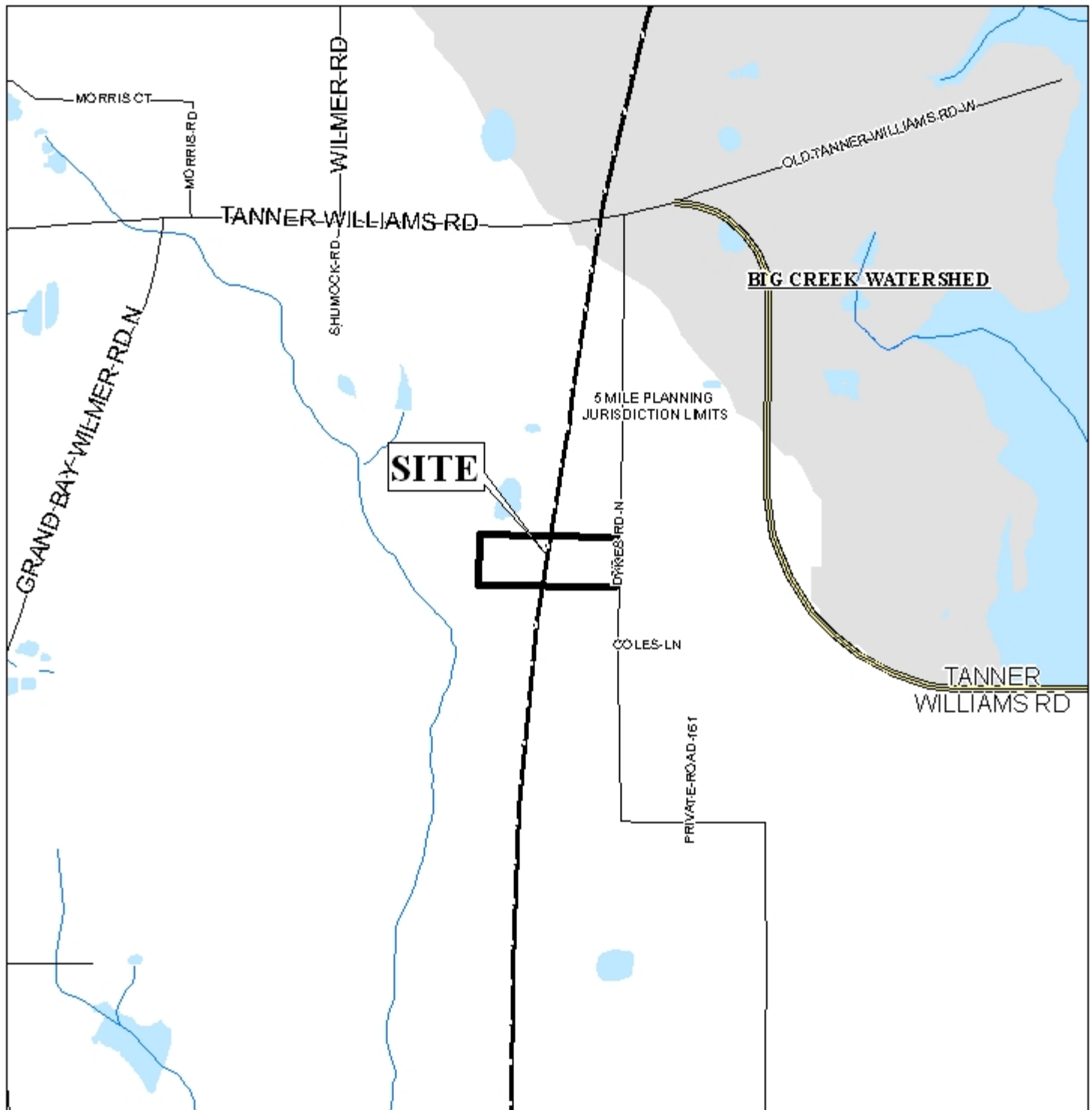
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, this application is recommended for tentative approval, with a waiver of Section V.D.3. of the Subdivision Regulations, subject to the following conditions:

- 1) retention of 30' right-of-way of Dykes Road North as depicted from centerline on the Final Plat;
- 2) retention of 25-foot minimum building setback line from Dykes Road North, as required by Section V.D.9. of the Subdivision Regulations;
- 3) retention of the lot sizes in acres and in square feet;
- 4) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;

- 5) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: (Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);
- 6) placement of a note on the Final Plat limiting each lot to one curb cut to Dykes Road North, with the size, design, and location of all curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards; and
- 7) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



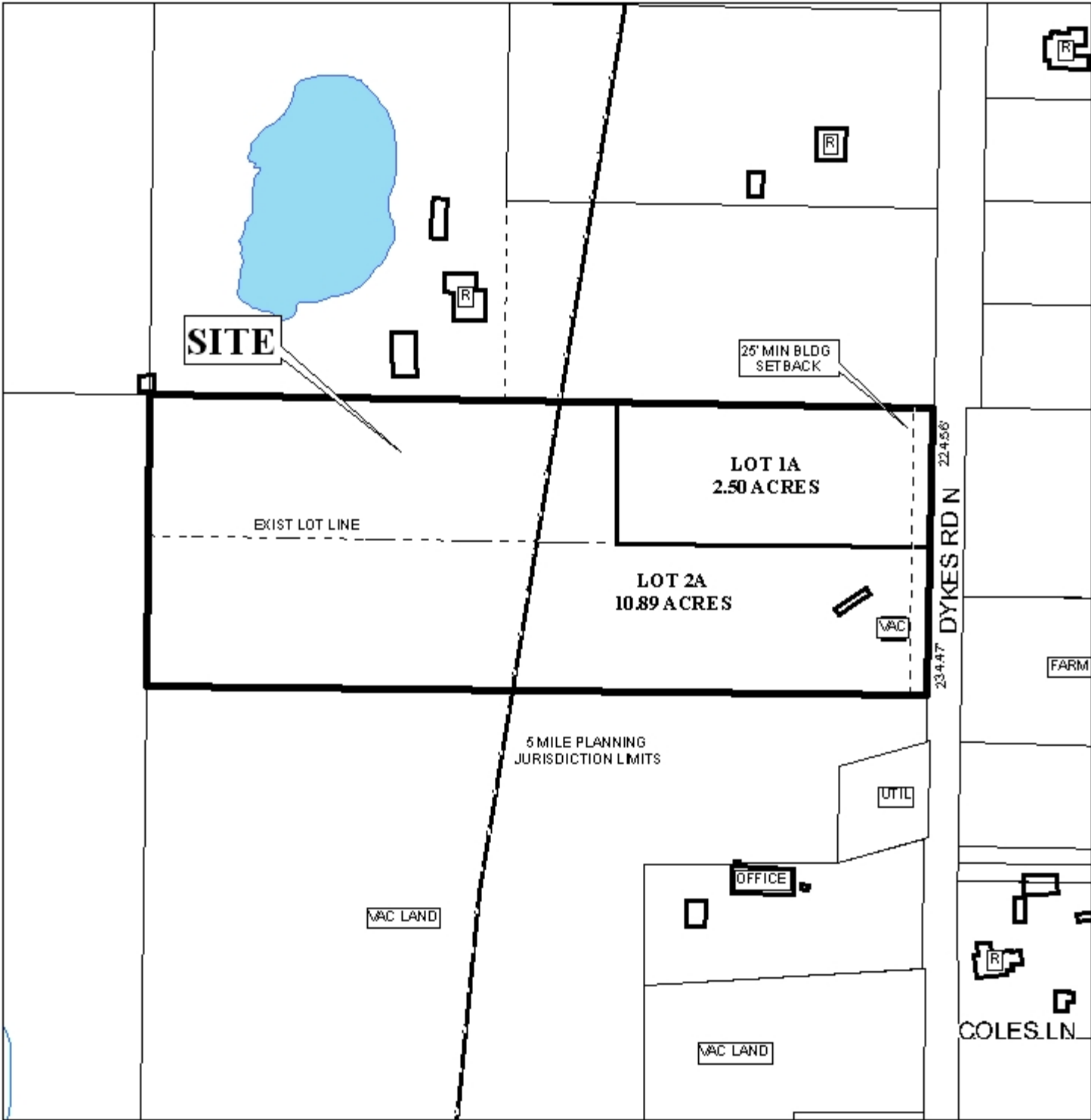
APPLICATION NUMBER 11 DATE November 21, 2013

APPLICANT Craft Acres Subdivision, Resubdivision of

REQUEST Subdivision



CRAFT ACRES SUBDIVISION, RESUBDIVISION OF



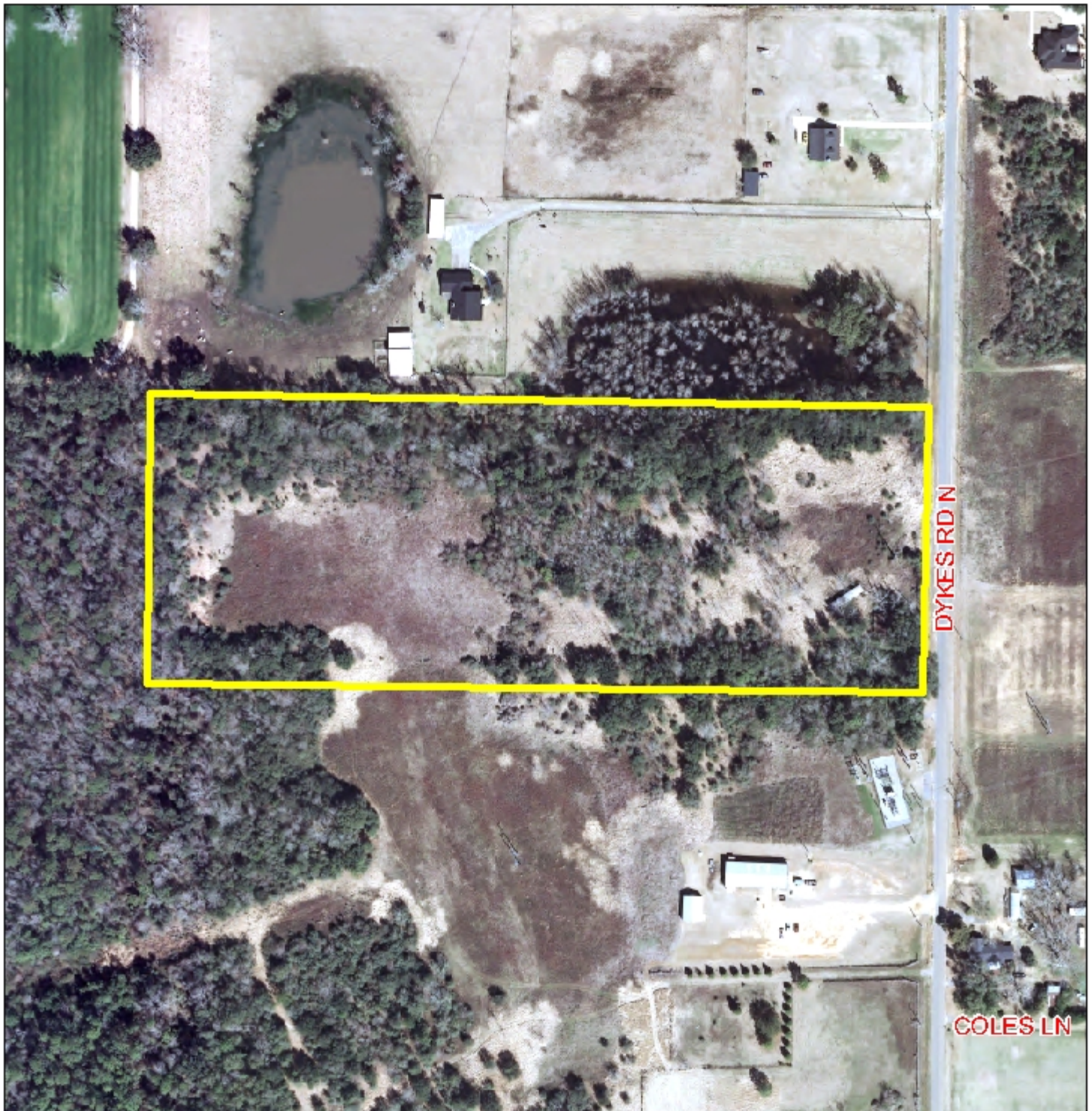
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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