

**SUBDIVISION
PLANNED UNIT DEVELOPMENT,
& ZONING AMENDMENT
STAFF REPORT****March 1, 2018****NAME**

Atchison Properties, Inc.

SUBDIVISION NAME

Atchison Place Subdivision

LOCATION

921 Dauphin Street & 926 Conti Street
(North side of Conti Street, 203' ± East of Common Street
extending to the South side of Dauphin Street, 285' ± East
of Common Street).

**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

R-1, Single-Family Residential District, and B-1, Buffer-Business District.

PROPOSED ZONING

LB-2, Limited Neighborhood Business District to eliminate
split zoning.

**REASON FOR
REZONING**

To eliminate split zoning.

AREA OF PROPERTY

1 Lot / 1.6 ± Acres (Subdivision, Zoning, and Planned Unit
Development)

CONTEMPLATED USE

Subdivision approval to create 1 lot, Planned Unit
Development Approval to allow multiple buildings on a
single building, and Rezoning R-1, Single-Family
Residential District, and B-1, Buffer-Business District, to
LB-2, Limited- Neighborhood Business District to
eliminate split zoning.

**It should be noted, however, that any use permitted in
the proposed district would be allowed at this location if
the zoning is changed. Furthermore, the Planning
Commission may consider zoning classifications other
than that sought by the applicant for this property.**

TIME SCHEDULE

None given.

ENGINEERING**COMMENTS****Subdivision FINAL PLAT COMMENTS** (should be addressed

prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label all flood zones.
- C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- D. Provide and label the monument set or found at each subdivision corner.
- E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- F. Provide the Surveyor's Certificate and Signature.
- G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photos Lot 1 will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. (Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the FINAL PLAT for signature.)
- I. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- J. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- K. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- L. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planning Unit Development and Zoning

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.

3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS The site is limited to its existing curb cut on Dauphin Street and its two existing curb cuts Conti Street with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Fire Code compliant paved access required from both streets.

REMARKS

The applicant is requesting Subdivision approval to create 1 legal lot, Planned Unit Development Approval to allow multiple buildings on a single building site, and Rezoning R-1, Single-Family Residential District, and B-1, Buffer-Business District, to LB-2, Limited Neighborhood Business District to eliminate split zoning.

The purpose of this application is to allow an existing business to continue to utilize an existing building as the main commercial use, and to incorporate multiple dwelling units within the building. An existing freestanding single-family dwelling would also remain on the site. If approved, the site would then be a conforming zoning district and a legal lot of record.

The site is bounded to the north and south by properties within a B-1, Buffer Business District, and to the east and west by residences in an R-1, Single Family Residential District and businesses in a B-1 District.

The site has frontage onto two streets, Dauphin Street and Conti Street. Dauphin Street is a Major Street, according to the Major Street Plan component of the Comprehensive Plan. The May 2017 amendment of the Major Street Plan reduced the right-of-way requirement from 100 feet to the existing right-of-way width, thus no dedication will be required. The preliminary plat and the site plan does not depict the existing minimum right-of-way widths for either street. The preliminary plat should be revised to depict the minimum existing right-of-way-widths for both Dauphin Street and Conti Street. If Conti Street is less than 50' right-of-way dedication to provide 25 feet from centerline should be required.

The site appears to be split between a “Traditional Corridor” development area and a “Mixed Density Residential” development area, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

The Traditional Corridor land use designation generally applies to transportation corridors east of I-65, which serve as the primary commercial and mixed-use gateway to Downtown and the City’s traditional neighborhoods (equivalent to Map for Mobile’s Traditional Neighborhoods).

Depending on their location (and as allowed by specific zoning), Traditional Corridor designations incorporate a range of moderately scaled single-use commercial buildings holding retail or services; buildings that combine housing units with retail and/or office; a mix of housing types including low- or mid-rise multifamily structures ranging in density from 4 to 10 dwelling units per acre; and attractive streetscapes and roadway designs that safely accommodate all types of transportation – transit, bicycling, walking, and driving. In these areas, special emphasis is placed on the retention of existing historic structures, compatible infill development, and appropriate access management.

The Mixed Density Residential designation applies mostly to residential areas located between Downtown and the Beltline, where the predominant character is that of a traditional neighborhood laid out on an urban street grid.

These residential areas should offer a mix of single family homes, townhouses, 2- to 4-residential unit buildings, accessory dwellings, and low- and mid-rise multifamily apartment buildings. The density varies between 6 and 10 dwelling units per acre, depending on the mix, types, and locations of the housing as specified by zoning.

Like Low Density Residential areas, Mixed Density Residential areas may incorporate compatibly scaled and sited complementary uses such as neighborhood retail and office uses, schools, playgrounds and parks, and churches and other amenities that create a complete neighborhood fabric and provide safe and convenient access to daily necessities.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site-plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site has an existing single family dwelling, as well as an existing four story building that contains an antique home furniture store, an office, and 1 residential unit on the bottom floor. The applicant now wishes to renovate the existing building to allow 14 dwelling units while still operating the office/ commercial retail business. The proposed building will have retail/ furniture sales, some office use, and the one existing residential unit on the first floor, office use on the second floor, and residential on the third and fourth floor; with no major exterior work being proposed besides some additional parking spaces.

The request for the entire site to be rezoned to LB-2 will allow for a variety of retail and restaurant uses which are not permitted in a B-1 District. The LB-2 District also prevents some uses that would be allowed in a regular B-2 District, such as a bar or gas station. Another consideration may be an R-B Residence-Business District. It does not allow as many uses as an LB-2 District (for example, a restaurant with a drive-thru is not allowed), but it would allow a bar with Planning Approval. It would appear that a rezoning for the property would be necessary to provide the applicant options other than continuing the non-conforming use of the property; however, staff believes that an R-B District may be most appropriate for this site.

With regards to parking requirements, a total of 41 parking spaces are required based on the breakdown of usage for the building in square footage and dwelling units. There are 21 parking spaces required for the residential portion of the site, 10 parking spaces required for the retail/ furniture, and 10 for the office space. The parking chart provided on the site plan states there are 40 parking spaces, however the site plan depicts a total of 42 spaces, but 3 of the 42 spaces do not have bumper stops (though there may be proposed curb). The site plan chart should be revised to depict the total number of parking spaces to be 42 as proposed and 41 as required as well as add 3 additional bumper stops or clearly indicate if a concrete curb-will be used. It should also be pointed out that the two proposed accessible spaces will need to be paved with a material that meets accessibility requirements.

As proposed, the site plan depicts aggregate surfacing, substandard access and maneuvering. The request to allow existing aggregate parking, access/ maneuvering and surfacing to remain on much of the overall site as well as substandard parking lot lighting are the subject of variances that have been submitted to the Board of Zoning Adjustment, and are scheduled to be considered at the March 5, 2018 meeting. The applicant does not wish to pave the parking lot nor do they want to provide the required levels of parking lot lighting at the minimum 0.5 foot candle throughout the parking area.

Typically with Planned Unit Developments, the Planning Commission has required full compliance with tree and landscape requirements of the Zoning Ordinance. The site plan depicts multiple existing trees on the site, and there will be no major exterior work to the site or building expansion that might otherwise trigger full tree and landscape compliance. It would appear that no additional trees will be required at this time.

It should be noted the site is within the Old Dauphin Way Historic District and any exterior work will require permits and approvals from the city's Historic Development Department.

There is no dumpster illustrated/ labelled on the site plan. If approved, the site plan should be revised to illustrate all existing and proposed dumpsters, with any new dumpsters to be in compliance with Section 64-4.D.9. of the Zoning Ordinance. If no dumpster will be used on the site, such should be noted on the PUD site plan.

Regarding the Subdivision aspect of the request, the lot meets the minimum size and frontage requirements. The lot size in square feet and acres is depicted on the both the preliminary plat and site plan. The lot size should be retained in square feet and acres on both the Final Plat and site plan, if approved.

The site currently has 2 existing curb-cuts to Conti Street and 1 existing curb-cut to Dauphin Street, thus the proposed lot will be a double frontage lot. As access from Dauphin Street to Conti Street will not be possible due to the existing building, Section V.D.8 of the Subdivision Regulations should be waived. The applicant is requesting that the site retain the existing 2 curb-cuts to Conti and 1 existing curb-cut to Dauphin Street. Thus, as a means of access management, the site should be limited to the existing curb-cuts, with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards.

The 25 minimum building setback lines do not appear to be labeled or identified on the preliminary plat or the site plan. Both the plat and the site plan should be revised to clearly depict and label the 25' minimum building setback lines along Dauphin Street and Conti Street, on both the plat and site plan.

RECOMMENDATION

Subdivision: Based upon the preceding, and with a waiver of Section V.D.8 of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to depict and label the 25' minimum building setback line along Dauphin Street and Conti Street;
- 2) revision of the plat to depict the minimum existing right-of-way width along Dauphin Street and Conti Street;
- 3) retention of the lot size in square feet and acres;
- 4) placement of a note on the Final Plat stating the lot is limited to the 2 existing curb-cuts to Conti Street and 1 existing curb-cut to Dauphin Street with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards;
- 5) full compliance with Engineering comments: "*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Show and label all flood zones. C. Show and label the MFFE (Minimum Finished Floor Elevation)*"

on each lot that contains an AE, V, or X (shaded) flood zone designation. D. Provide and label the monument set or found at each subdivision corner. E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. F. Provide the Surveyor's Certificate and Signature. G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. H. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photos Lot 1 will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. (Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the FINAL PLAT for signature.) I. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. J. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. K. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. L. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.”;

- 6) full compliance with Traffic Engineering comments: “The site is limited to its existing curb cut on Dauphin Street and its two existing curb cuts Conti Street with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.”;
- 7) full compliance with Urban Forestry comments: “Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”;
- 8) full compliance with Fire comments: “All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Fire Code compliant paved access required from both streets.”;
- 9) provision of two revised Planned Unit Development site plans to Planning & Zoning staff prior to the signing of the Final Plat; and
- 10) completion of the Subdivision process prior to the issuance of permits.

Planned Unit Development: Staff recommends the following Findings of Fact for Approval of the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it encourages mixed use development;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because it allows the conversion of a old warehouse to be utilized in multiple ways;

- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because use of the existing historic building is better than demolishing the structure;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because it encourages redevelopment and does not require the removal of trees;
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because the site is utilizing existing resources instead of adding more structures to the site;
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because the site will not only provide retail/ commercial, and office uses but now will allow more housing in the area.

Based upon the preceding, the application is recommended for Approval, subject to the following:

- 1) revision of the site plan to depict and label the 25' minimum building setback line along Dauphin Street and Conti Street;
- 2) revision of the site plan to depict the minimum right-of-way width along Dauphin Street and Conti Street;
- 3) revision of the site plan to depict the required number of parking spaces as 41 and the proposed parking spaces as 42;
- 4) revision of the site plan to depict bumper stops in front of all parking spaces or label concrete curbing;
- 5) revision of the site plan to depict compliant paved parking for the 2 accessible parking spaces;
- 6) revision of the site plan to depict/ label a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance or add a note that dumpsters will not be used;
- 7) retention of the lot size in square feet and acres;
- 8) placement of a note on the site plan stating the lot is limited to the 2 existing curb-cuts to Conti Street and 1 existing curb-cut to Dauphin Street with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards;
- 9) placement of a note on the site plan stating tree and landscape compliance will be maintained at existing levels;
- 10) full compliance with parking access/ maneuvering and surfacing as well as complaint parking lot lighting will be required if the variance requests are denied;
- 11) full compliance with Engineer comments: *"ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water*

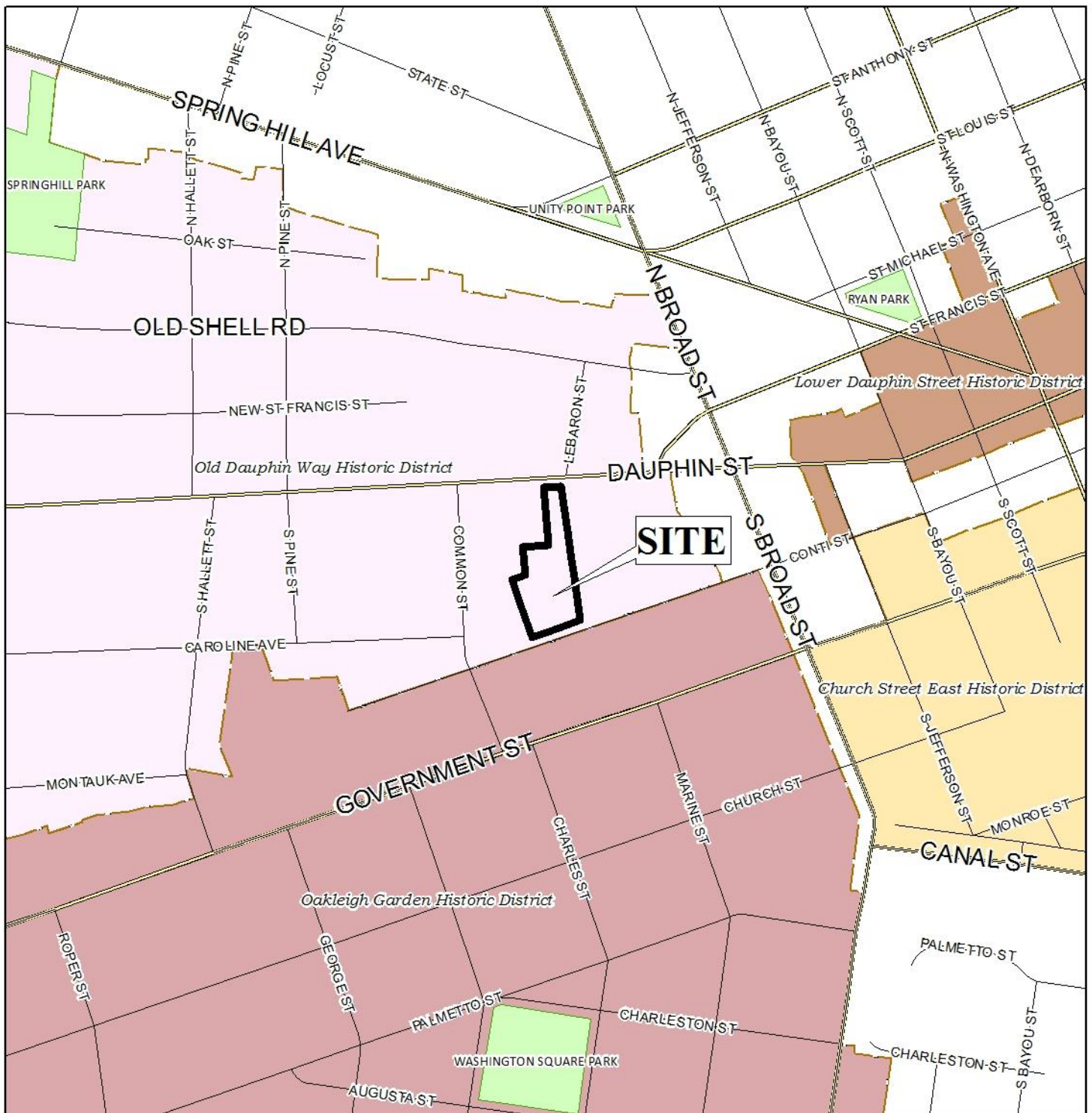
detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.”;

- 12) full compliance with Traffic Engineering comments: *“The site is limited to its existing curb cut on Dauphin Street and its two existing curb cuts Conti Street with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.”;*
- 11) full compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”;*
- 12) full compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Fire Code compliant paved access required from both streets.”;*
- 13) provision of two revised Planned Unit Development site plans to Planning & Zoning staff prior to the signing of the Final Plat; and
- 14) completion of the Subdivision process prior to the issuance of permits.

Rezoning: Based upon the preceding, the application is recommended for Approval as an R-B, Residence-Business District, subject to the following conditions:

- 1) completion of the Subdivision process; and
- 2) full compliance with all municipal codes and ordinances.

LOCATOR MAP



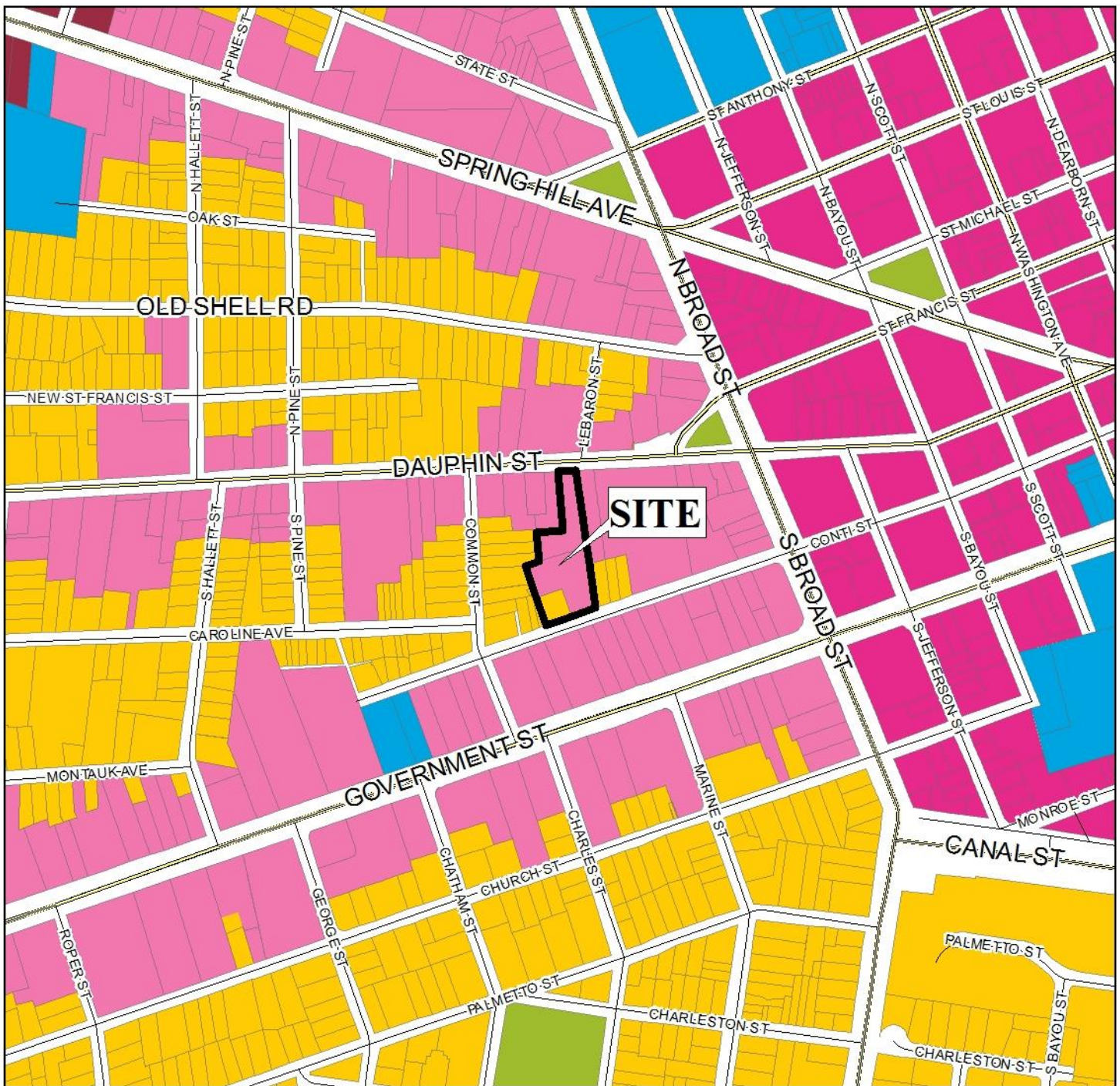
APPLICATION NUMBER 11 DATE March 1, 2018
 APPLICANT Atchison Place Subdivision
 REQUEST Subdivision, PUD, Rezoning from R-1 and B-1 to LB-2



The map displays a grid of streets in the Spring Hill neighborhood. Key streets include State St, Spring Hill Ave, N Broad St, S Broad St, Government St, and Canal St. A specific area is highlighted in black and labeled 'SITE'. The map also shows various colored zones, including red, orange, yellow, green, blue, and purple, which likely represent different land use or zoning categories. The map is oriented with North at the top.

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FLUM LOCATOR MAP



APPLICATION NUMBER 11 DATE March 1, 2018

APPLICANT Atchison Place Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 and B-1 to LB-2

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and commercial units.

APPLICATION NUMBER 11 DATE March 1, 2018

APPLICANT Atchison Place Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 and B-1 to LB-2

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

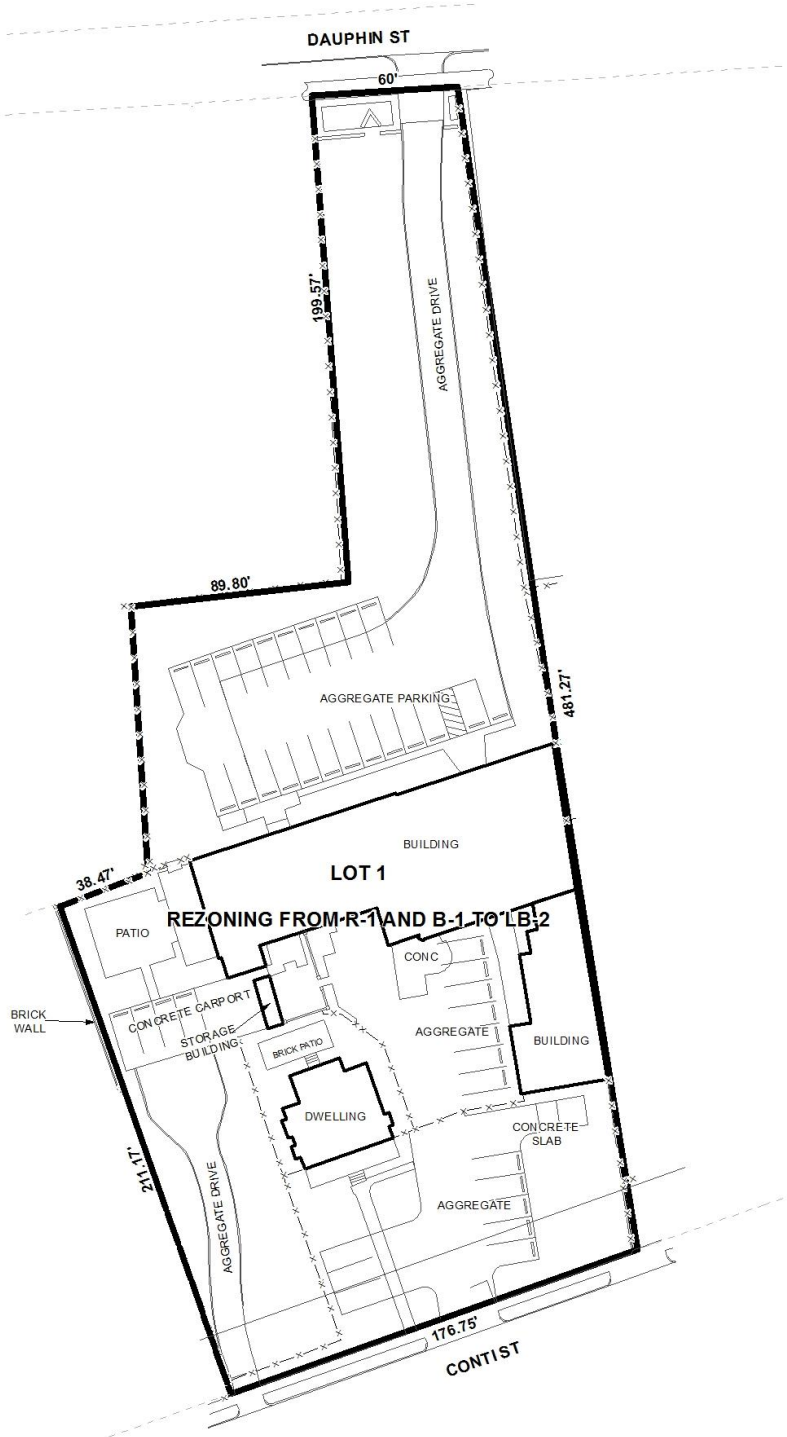


The site is surrounded by residential and commercial units.

APPLICATION NUMBER 11 DATE March 1, 2018
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SITE PLAN



The site plan illustrates the existing buildings, aggregate parking, and drives.

APPLICATION NUMBER 11 DATE March 1, 2018

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REQUEST Subdivision, PUD, Rezoning from R-1 and B-1 to LB-2



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