

**ASHLEY ESTATES SUBDIVISION,**  
**RE-SUBDIVISION OF LOT 59**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has NO water or sewer services available.

The plat illustrates the proposed 2 lot, 0.9 ± acre subdivision which is located at the Southeast corner of Tara Drive North and Hoffman Road. The applicant states that the subdivision is served by public water and an individual septic system.

The purpose of this application is to subdivide an existing legal lot into two lots. Each proposed lot will be at least 20,000 square feet, and thus will meet the minimum area requirements for lots with public water and individual septic systems. Each lot will also meet the minimum width and width to depth ratio requirements of the Subdivision Regulations.

The site is developed with one house, and currently has one curb-cut onto Hoffman Road. The site also fronts onto Tara Drive. Both Hoffman Road and Tara Drive are minor streets with adequate rights-of-way. As the site is being subdivided, access is a concern. Proposed Lot 1, which contains the existing house, should be limited to the one (existing) curb-cut, while proposed Lot 2 should be limited to one curb-cut to Tara Drive. The size, design and location of curb-cuts must be approved by Mobile County Engineering and comply with AASHTO standards.

A 35-foot minimum building setback is shown on the plat, which exceeds the required 25-foot minimum setback. The minimum building setback line should also be depicted on the final plat, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the final plat.

New construction on the site will have to comply with the City of Mobile storm water and flood control ordinances. A note regarding this requirement should appear on the final plat.

The lot size information on the preliminary plat should be retained for the final plat.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that Lot 1 is limited to one (existing) curb-cut, while Lot 2 is limited to one curb-cut to Tara Drive, with the size, design and location to be approved by Mobile County Engineering and to conform with AASHTO standards;
- 2) Depiction and labeling of the minimum building setback line (of at least 25-feet) on the final plat;
- 3) Depiction and labeling of the lot size in square feet on the final plat;
- 4) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 5) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) Placement of a note on the final plat stating that development must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits; and
- 7) Compliance with Fire-Rescue Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*).

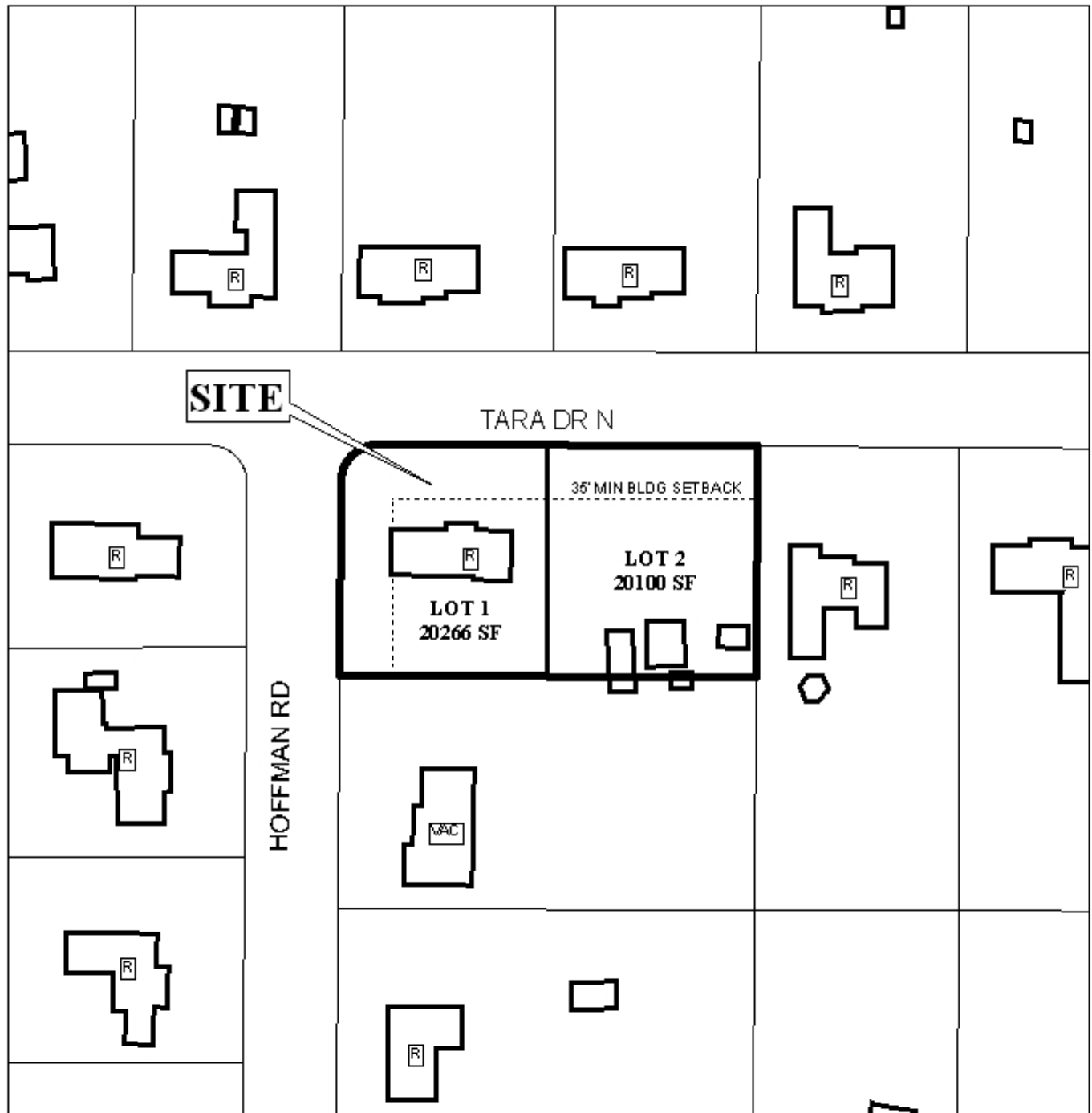
# LOCATOR MAP



APPLICATION NUMBER 11 DATE July 5, 2012  
 APPLICANT Ashley Estates Subdivision, Resubdivision of Lot 59  
 REQUEST Subdivision

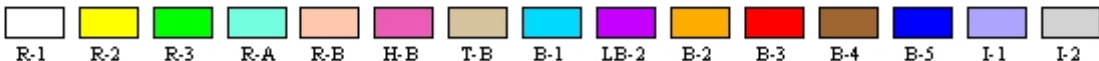


ASHLEY ESTATES SUBDIVISION, RESUBDIVISION OF LOT 59



APPLICATION NUMBER 11 DATE July 5, 2012

LEGEND



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NTS

**SPRINGHILL ESTATES SUBDIVISION, A RESUBDIVISION  
OF LOTS 15-A, 16, 17, 18, & 19**



APPLICATION NUMBER 12 DATE July 5, 2012

