

## **ANTHONY KNOX SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Correct the label for the POC.
- B. Provide monumentation information/label for the south end of the Faye Place cul-de-sac/Doyle St. ROW.
- C. Show/label the existing ROW width along Doyle St. Check the label showing an existing 50' ROW on Doyle St. against the scaled distance of approximately 35'.
- D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 27 - #83) the Lot will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Dedicate sufficient property to provide adequate ROW per the Subdivision Regulations (including cul-de-sac as required) and as approved by the City Engineer and Traffic Engineer.
- I. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- J. Show and label each and every Right-Of-Way and easement, including width.
- K. Provide labels or legend for items on the plat (i.e. I.S., REF. RBR).
- L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- N. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- O. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Urban Forestry: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1-lot, 2.0± acre subdivision which is located on the West side of Doyle Street, 2/10± mile South of Dauphin Island Parkway within Council District 3. The applicant states that the subdivision is served by city water and sanitary sewer. The purpose of this application is to create one legal lot of record from three legal lots of record.

The proposed lot fronts an unopened segment of Doyle Street, and is located at the terminus of the improved portion of the street. Doyle Street, where improved, is a minor street without curb and gutter. As the site is located at the improved terminus of Doyle Street, no dedication should be required. Due to the limited frontage, no additional subdivision shall be allowed.

The 25-foot minimum building setback line is also depicted on the preliminary plat, and should be retained on the Final Plat, if approved.

As a means of access management, a note should be required on the Final Plat, if approved, stating that Lot 1 is limited to the one curb cut to Doyle Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The proposed lot size is provided in square feet and acres, and would exceed the minimum required lot size in Section V.D.2. of the Subdivision Regulations. This information should also be retained on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the plat stating that there shall be no additional subdivision of Lot 1 until additional frontage on an improved street is provided meeting City standards;
- 2) Retention of the 25' minimum building setback along Doyle Street for Lot 1;
- 3) Placement of a note on the Final Plat, stating that Lot 1 is limited to one curb cut to Doyle Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) Retention of the lot size in square feet and acres on the Final Plat, if approved;
- 5) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*  
A. Correct the label for the POC. B. Provide monumentation information/label for the south end of the Faye Place cul-de-sac/Doyle St. ROW. C. Show/label the existing ROW width along Doyle St. Check the label showing an existing 50' ROW on Doyle St. against the scaled distance of approximately 35'. D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements,

written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 27 - #83) the Lot will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Dedicate sufficient property to provide adequate ROW per the Subdivision Regulations (including cul-de-sac as required) and as approved by the City Engineer and Traffic Engineer. I. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. J. Show and label each and every Right-Of-Way and easement, including width. K. Provide labels or legend for items on the plat (i.e. I.S., REF. RBR). L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. N. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. O. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 6) Compliance with Traffic Engineering comments (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);
- 7) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and
- 8) Compliance with Fire Department comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).).

# LOCATOR MAP



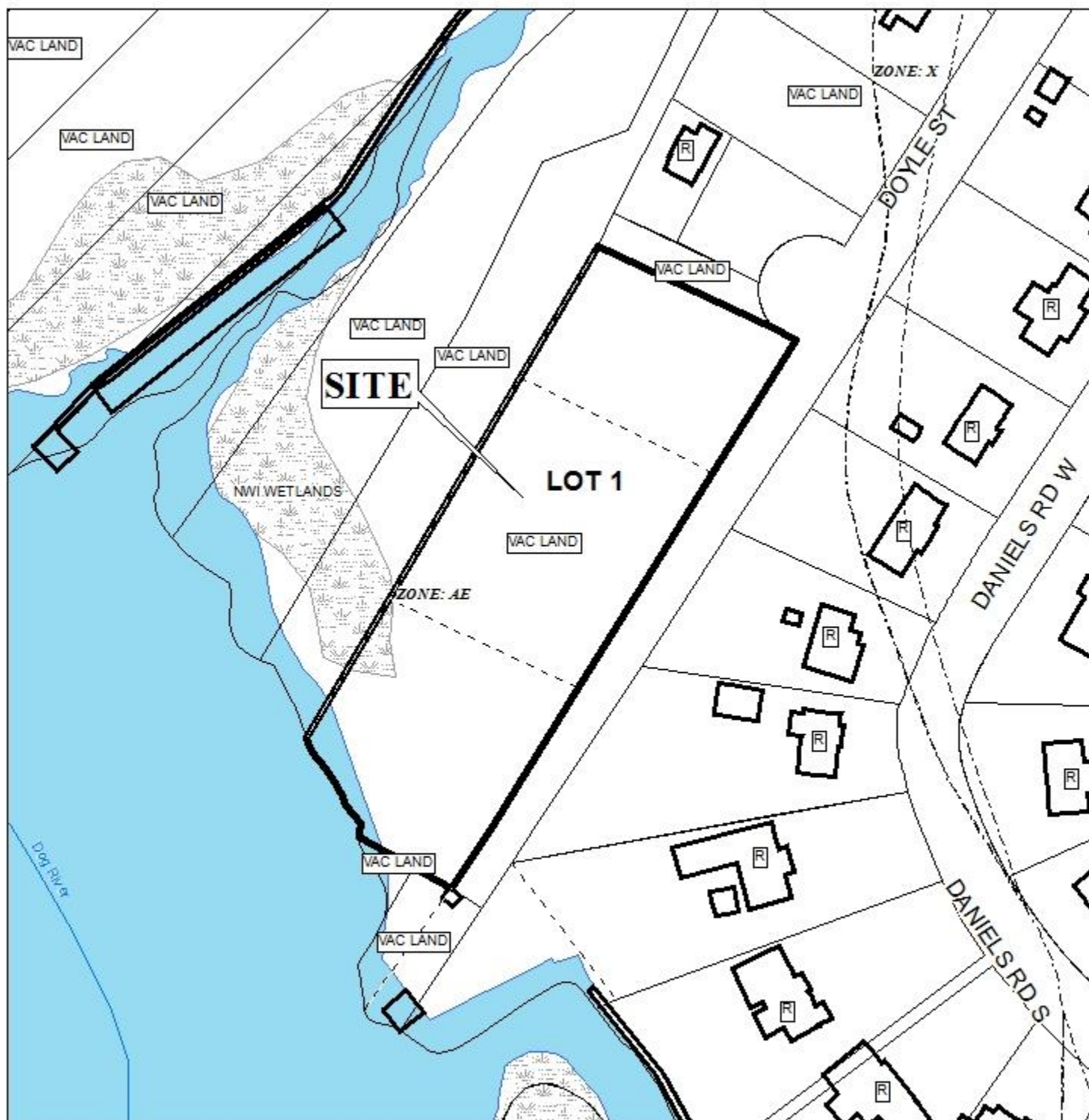
APPLICATION NUMBER 11 DATE June 4, 2015

APPLICANT Anthony Knox Subdivision

REQUEST Subdivision



# ANTHONY KNOX SUBDIVISION



APPLICATION NUMBER 11 DATE June 4, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6

N  
NTS



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