

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: July 8, 2010****DEVELOPMENT NAME**

Mobile Infirmary Subdivision

**SUBDIVISION NAME**

Mobile Infirmary Subdivision

**LOCATION**

1 &amp; 3 Mobile Infirmary Drive and 5 Mobile Infirmary Circle

(West side of Mobile Infirmary Drive extending to the North terminus of Mobile Infirmary Circle)

**CITY COUNCIL  
DISTRICT**

District 1

**AREA OF PROPERTY**3 Lots / 34.2  $\pm$  acres (Subdivision)Multiple Lots and Parcels / 57.4  $\pm$  acres (PUD)**CONTEMPLATED USE**

Planned Unit Development Approval to allow multiple buildings, shared access, maneuvering, and parking on multiple building sites, and Subdivision approval to create 3 lots.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING****COMMENTS**

Show Minimum Finished Floor Elevation on Plat on each lot located within the X-Shaded or AE Flood Zone. Need to reference the March 17, 2010 FIRM on the Plat. On Lot 3, the plat shows the western end of the existing Physician Office building extending over the lot line. There is to be no fill placed within the limits of the flood plain without providing compensation. A flood study (No-Rise Certification) will be required for any buildings proposed within the X-Shaded or AE Flood Zones. For any proposed development, detention must be provided for any impervious area added since 1984 to Lots 1, 2 & 3. If there is any existing detention or drainage structures located outside of the proposed subdivision supporting portions of Lots 1, 2 or 3, then drainage easements need to be provided and shown on the plat. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit(s).

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

**FIRE DEPARTMENT****COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow multiple buildings, shared access, maneuvering, and parking on multiple building sites, and Subdivision approval to create 3 lots. The site is located in Council District 1, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create three lots, and amend an existing PUD to reflect the revised lot lines. No new construction is proposed with the application.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned almost entirely B-1, Buffer Business, but has one lot of approximately 7,886 square feet in size that is zoned R-1, Single-Family: the residentially zoned lot is part of greenspace at the corner of Mobile Infirmary Boulevard and Spring Hill Avenue. Hospitals and associated uses are allowed by right in B-1 districts.

The existing PUD site contains multiple buildings, surface parking lots and parking garages on multiple parcels and lots. No information is provided regarding the size of the hospital in terms of the number of beds, nor the amount of office space provided in the non-hospital buildings, thus staff is not able to determine compliance with the parking requirements of the Zoning

Ordinance. Furthermore, no information is provided regarding the total number of parking spaces on site.

The most recently approved PUD for the site, from October 2008, was to allow the construction of a new surface parking lot, which has been built. No new construction is proposed with this application: the applicant is only proposing to create new lots.

The proposed three-lot subdivision will be created from portions of three parcels: it appears that the entirety of the parcels are not included as part of the subdivision. Furthermore, the proposed subdivision will not address the other multiple metes and bounds parcels or parcels composed of multiple lots which exist within the overall PUD.

Also, it appears that a building is depicted on Mobile Infirmary Boulevard that has not existed since at least 2002. The site plan should be revised to reflect the removal of the structure.

## **RECOMMENDATION**

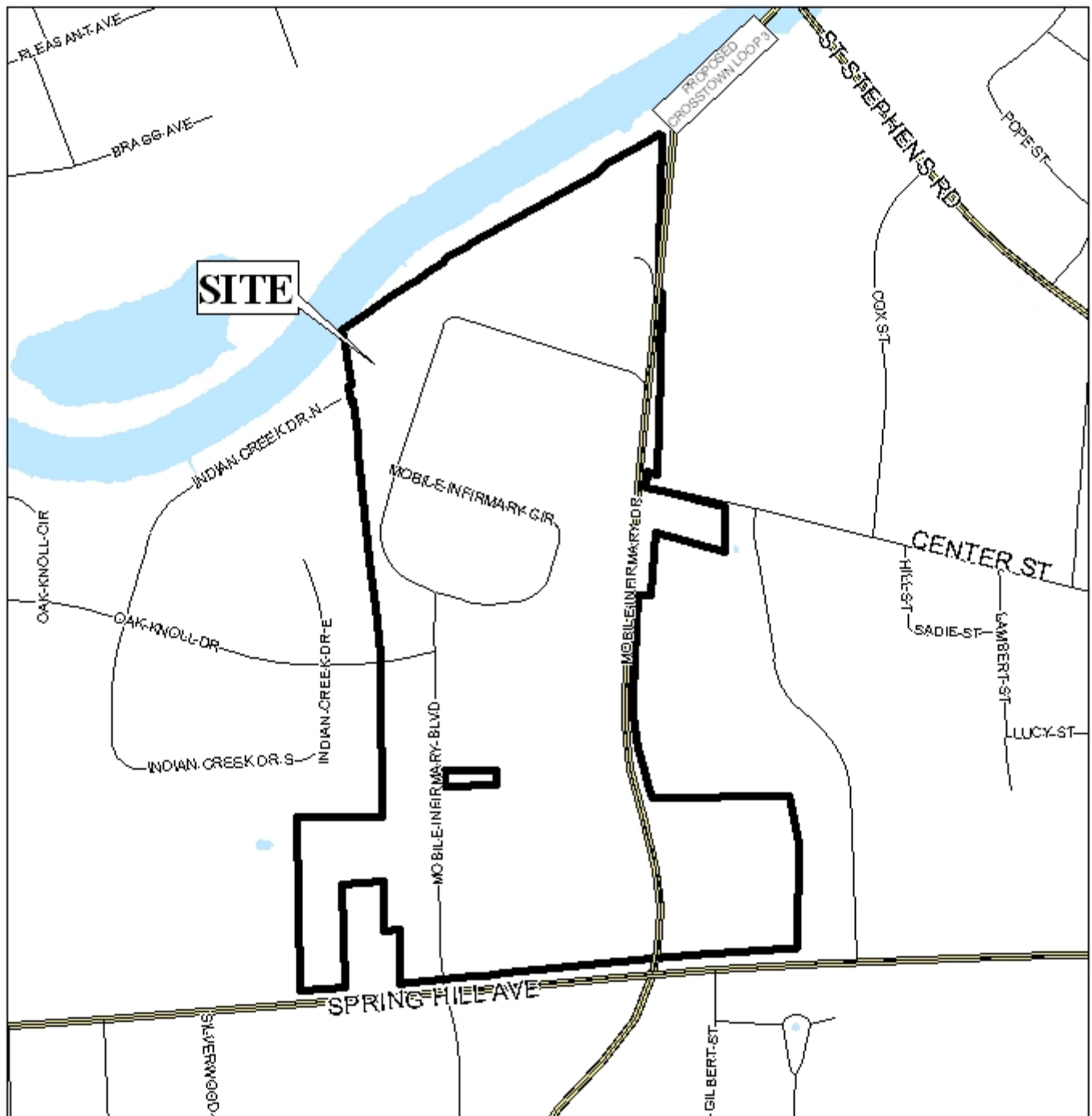
**Subdivision:** Based upon the preceding, this application is recommended for Holdover until the August 5<sup>th</sup> meeting, with revisions due to the Planning Section by July 16<sup>th</sup>, so that the applicant can undertake the following:

- 1) Revision of the plat to include the entirety of the parcels being subdivided and, if necessary, the creation of additional legal lots to accommodate the proposed parcel remainders; and
- 2) Revision of the plat to reflect Engineering comments (*Show Minimum Finished Floor Elevation on Plat on each lot located within the X-Shaded or AE Flood Zone. Need to reference the March 17, 2010 FIRM on the Plat. On Lot 3, the plat shows the western end of the existing Physician Office building extending over the lot line. There is to be no fill placed within the limits of the flood plain without providing compensation. A flood study (No-Rise Certification) will be required for any buildings proposed within the X-Shaded or AE Flood Zones. For any proposed development, detention must be provided for any impervious area added since 1984 to Lots 1, 2 & 3. If there is any existing detention or drainage structures located outside of the proposed subdivision supporting portions of Lots 1, 2 or 3, then drainage easements need to be provided and shown on the plat. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit(s).*).

**Planned Unit Development:** Based upon the preceding, this application is recommended for Holdover until the August 5<sup>th</sup> meeting, with revisions due to the Planning Section by July 16<sup>th</sup>, so that the applicant can undertake the following:

- 1) Revision of the site plan to reflect revised lots proposed through the revised plat; and
- 2) Revision of the site plan to remove any buildings that no longer exist within the PUD site.

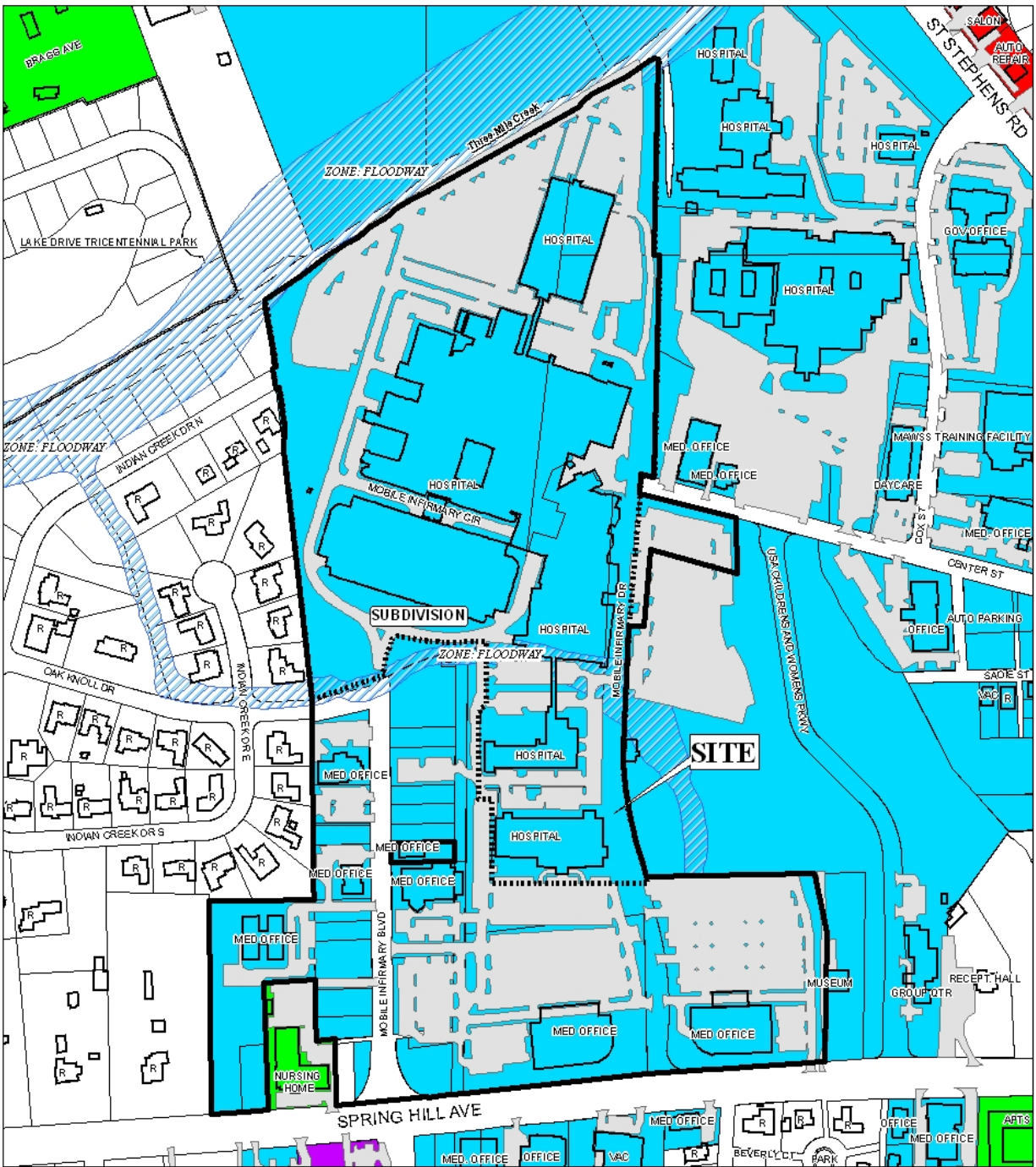
# LOCATOR MAP



APPLICATION NUMBER 11 & 12 DATE July 8, 2010  
APPLICANT Mobile Infirmary Subdivision  
REQUEST Subdivision, Planned Unit Development

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the west of the site.  
Medical facilities and offices are located to the east and south  
of the site.

APPLICATION NUMBER 11 & 12 DATE July 8, 2010

APPLICANT Mobile Infirmary Subdivision

REQUEST Subdivision, Planned Unit Development

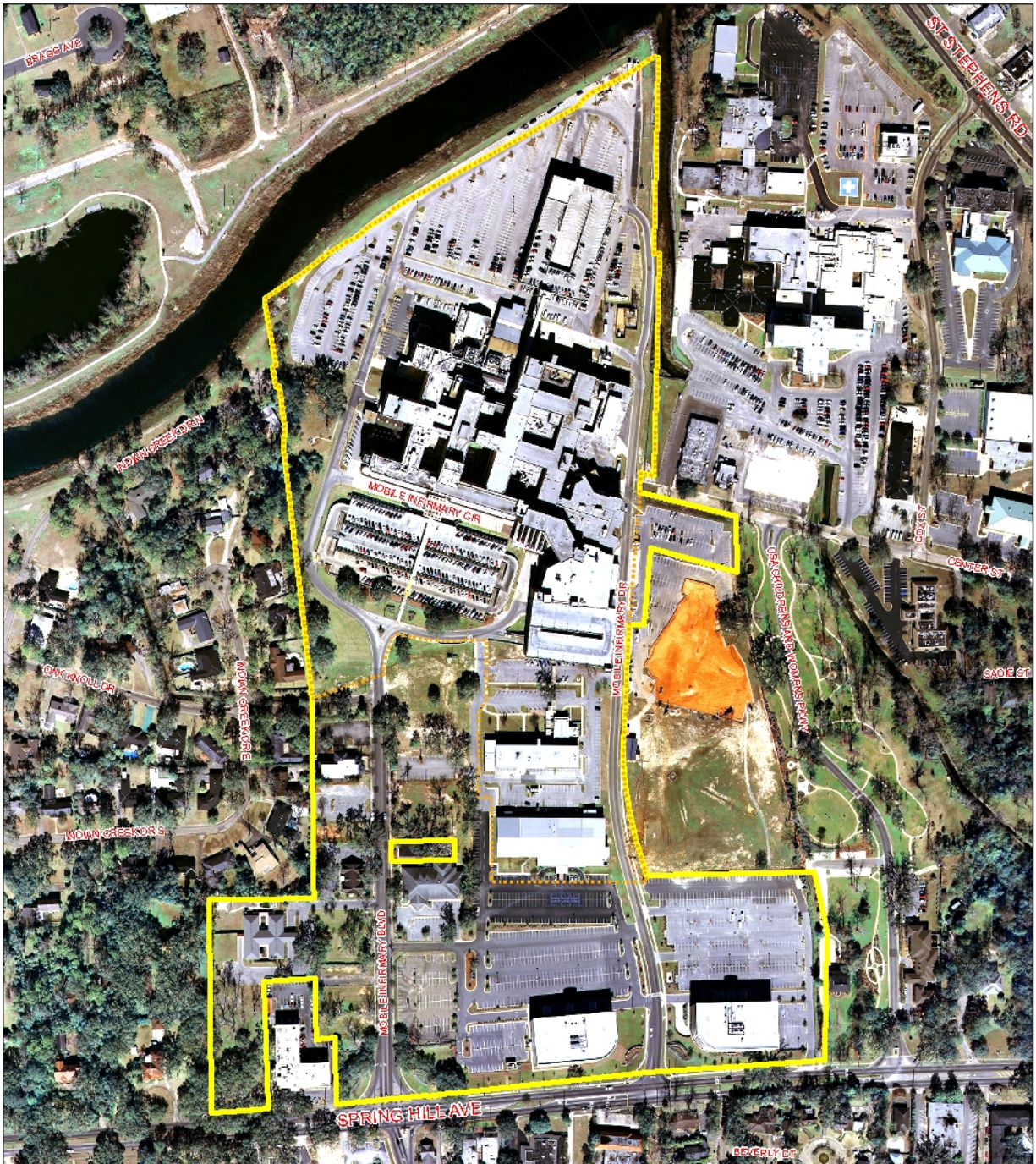
LEGEND

R-1	R-2	R-3	R-A	R-B	HB	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	----	-----	-----	------	-----	-----	-----	-----	-----	-----

NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the west of the site.  
Medical facilities and offices are located to the east and south  
of the site.

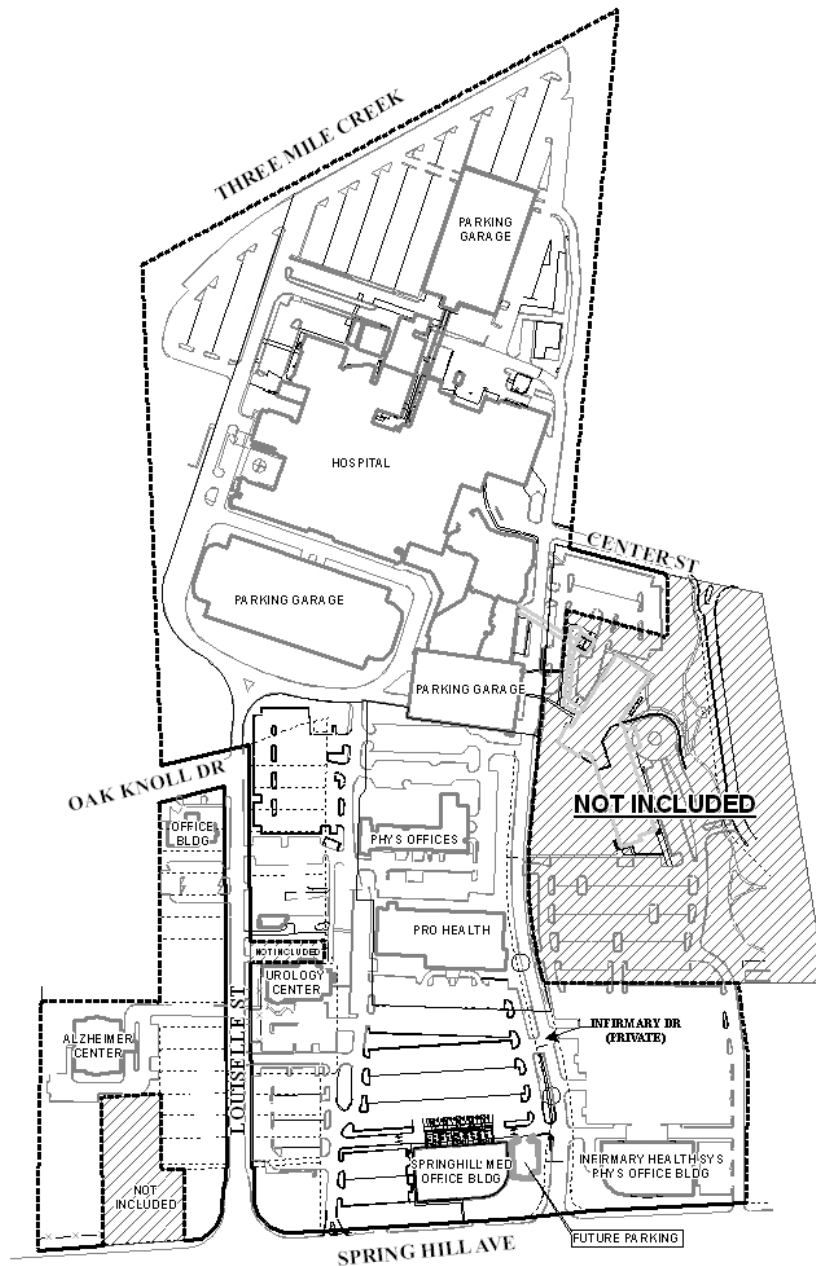
APPLICATION NUMBER 11 & 12 DATE July 8, 2010

APPLICANT Mobile Infirmary Subdivision

REQUEST Subdivision, Planned Unit Development



# SITE PLAN



The site plan illustrates the existing facilities and proposed improvements.

APPLICATION NUMBER 11 & 12 DATE July 8, 2010

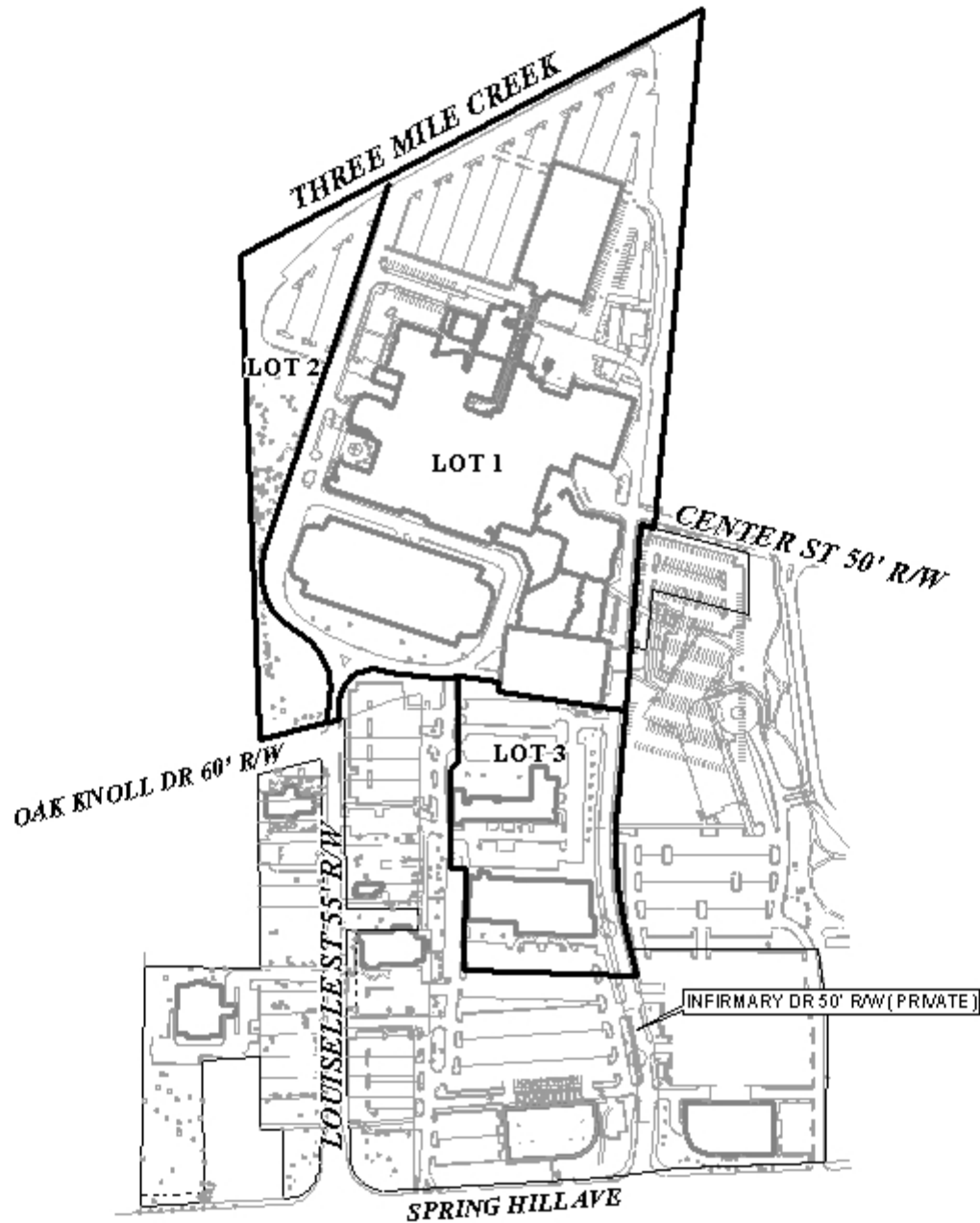
APPLICANT Mobile Infirmiry Subdivision

REQUEST Subdivision, Planned Unit Development





# DETAIL SITE PLAN



APPLICATION NUMBER 11 & 12 DATE July 8, 2010  
APPLICANT Mobile Infirmary Subdivision  
REQUEST Subdivision, Planned Unit Development

N  
NTS