

**PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT****Date: May 1, 2014****NAME**

Midtown Park Subdivision, Heritage Addition to

SUBDIVISION NAME

Midtown Park Subdivision, Heritage Addition to

LOCATION

11 Midtown Park East
(East side of Midtown Park East, 230'± South of Dauphin
Street Service Road).

**CITY COUNCIL
DISTRICT**

District 1

AREA OF PROPERTY

1 Lots / 0.4± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow shared
access between two building sites, and a Subdivision to
create one legal lot of record from a single legal lot of
record.

TIME SCHEDULE

June 2014

**ENGINEERING
COMMENTS**

Subdivision: The following comments should be addressed
prior to acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention is required for any future addition(s) and/or land disturbing activity.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 24 - # 76) the Lot will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.

Planned Unit Development: Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters: 5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System)

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS COMMENTS:

No Comments

REMARKS

The applicant is requesting Planned Unit Development Approval to allow shared access between two building sites, and a Subdivision to create one legal lot of record from a single legal lot of record.

The site received Subdivision approval at the Planning Commission's June 1, 1972 meeting. The previously approved Subdivision plat illustrates the 15' right-of-way easement at the rear of the property, allowing for shared access between the subject site, and the adjacent property to the South.

The previously approved and recorded Subdivision plat illustrates a 50' minimum building setback line, which the applicant wishes to change to 25'. It appears that the existing structure encroaches approximately 5' into the recorded 50' setback, and 25' is the minimum setback

required by Section V.D.9. of the Subdivision Regulations, therefore approval of the proposed setback would be appropriate.

Regarding the Subdivision, the proposed lot exceeds the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lots sizes are provided in acres and square feet, and should remain on the Final Plat as well as the site plan, if approved.

The existing structure is 2'± from each side property line, however Planned Unit Development allow for some flexibility in Zoning Ordinance requirements, therefore the existing encroachments should remain, with the condition that all future expansions will meet the Zoning Ordinance requirements of having a setback of either 0', or a minimum of 5' from the side property line.

The proposed subdivision fronts Midtown Park East, a minor street with curb and gutter. The preliminary plat illustrate an existing right-of-way of 60', therefore no dedications will be required.

The site plan illustrates the subject site as having one curb-cut to Midtown Park East. The site should be limited to the existing curb-cut.

There is a sanitary sewer easement on the North side of the property as well as a drainage and utility easement on the East side of the property. A note should be placed on the site plan, as well as the Final Plat if approved, that no structures will be erected in any easement.

The applicant is requesting approval for the required number of parking spaces to be reduced from 18 to 16, which is the existing number of parking spaces available on site. The site plan only illustrates curbing and bumper stops for 15 of the 16 parking spaces, and it does not appear that the handicap parking space meets the requirements for van accessibility (9' wide parking space plus 7' wide striped access aisle). The site plan should be revised to illustrate full compliance with the code requirements, as well as provide bumper stops or curbing for all parking spaces. It should be noted that bringing the site into compliance may result in the loss of a parking space.

It is very important to note that the Planned Unit Development review is site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review.

It should be noted that while the site plan illustrates compliance with landscaped area, there is no mention of the amount of front landscaped area to know if it is in compliance. There are also no tree plantings illustrated. Per Urban Forestry comments, frontage tree plantings should be coordinated with Urban Forestry.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

RECOMMENDATION

Planned Unit Development: The PUD request is recommended for Approval, subject to the following conditions:

- 1) compliance with Engineering comments (*Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters: 5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System);*
- 2) compliance with Traffic Engineering comments (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 3) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.);*
- 4) revision of the site plan to illustrate compliance with the requirements for van accessible parking spaces;
- 5) provision of bumper stops or curbing for all parking spaces;
- 6) full compliance with frontage tree plantings to be coordinated with Urban Forestry;
- 7) placement of a note stating that no structures shall be erected in any easements;
- 8) provision of two (2) revised site plans to Urban Development prior to the signing of the Final Plat; and
- 9) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.).*

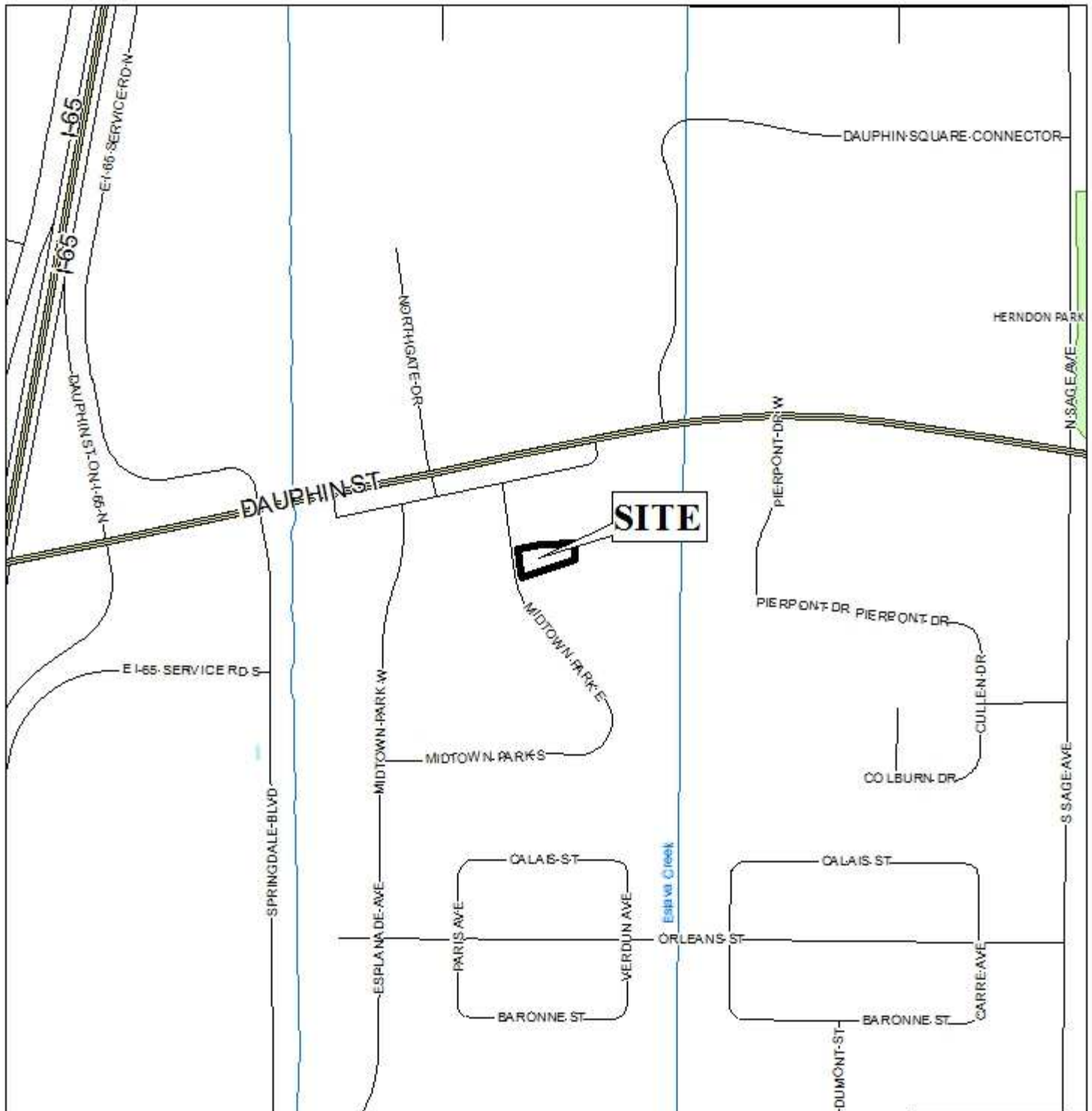
Subdivision: The Subdivision request is recommended for Approval subject to the following conditions:

- 1) illustration of the 25' building setback as depicted on the preliminary plat;
- 2) retention of the lot size in square feet and acres;
- 3) placement of a note stating the development is limited to its existing curb cut;
- 4) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 5) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any*

land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention is required for any future addition(s) and/or land disturbing activity. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 24 - # 76) the Lot will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.);

- 6) *compliance with Traffic Engineering comments (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 7) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.);*
- 8) *placement of a note stating that no structures shall be erected in any easements;*
- 9) *provision of two (2) revised Planned Unit Development site plans to Urban Development prior to the signing of the Final Plat; and*
- 10) *placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.*

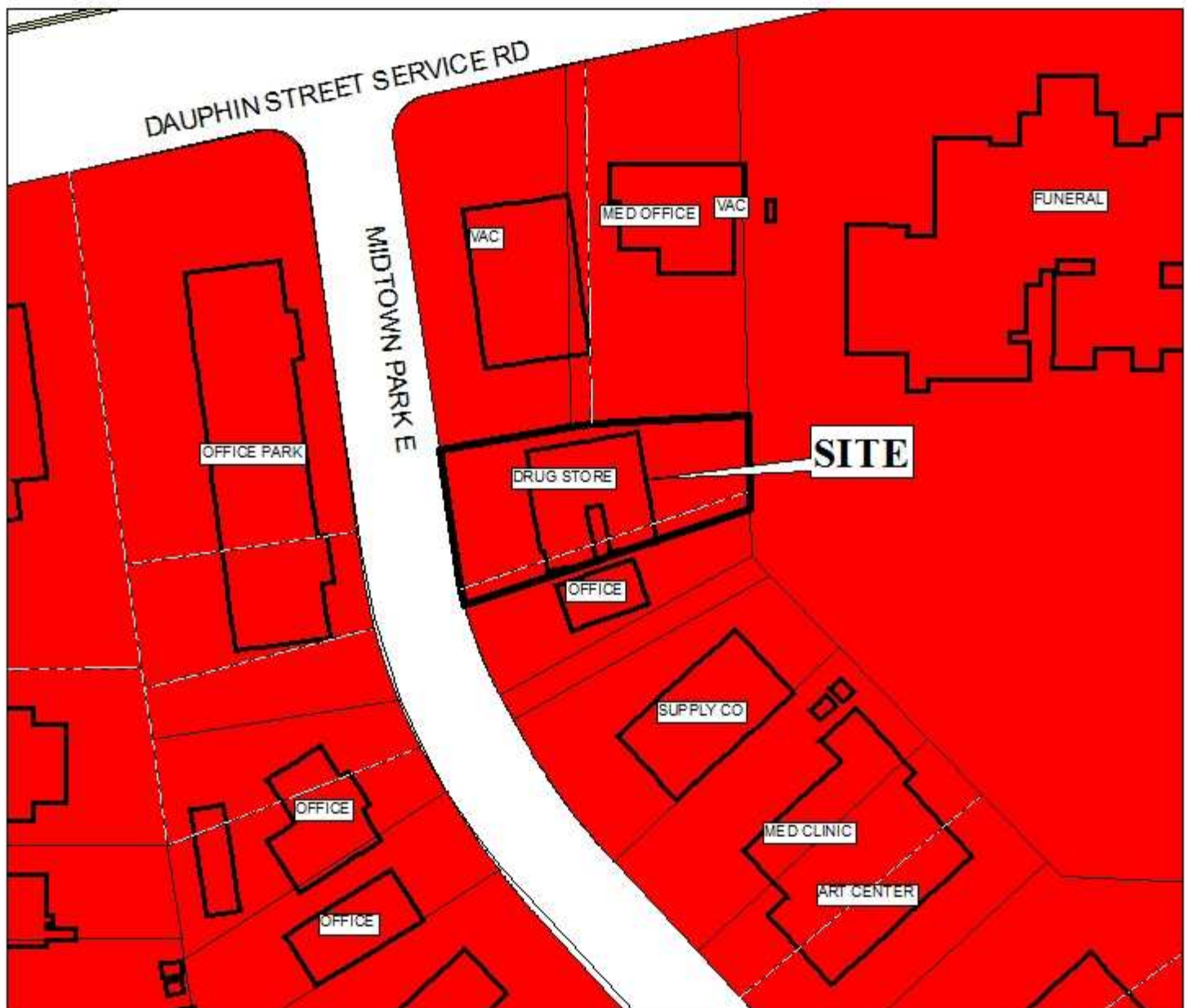
LOCATOR MAP



APPLICATION NUMBER 11 & 12 DATE May 1, 2014
APPLICANT Midtown Park Subdivision, Heritage Addition to
REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous business units.

APPLICATION NUMBER 11 & 12 DATE May 1, 2014

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REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

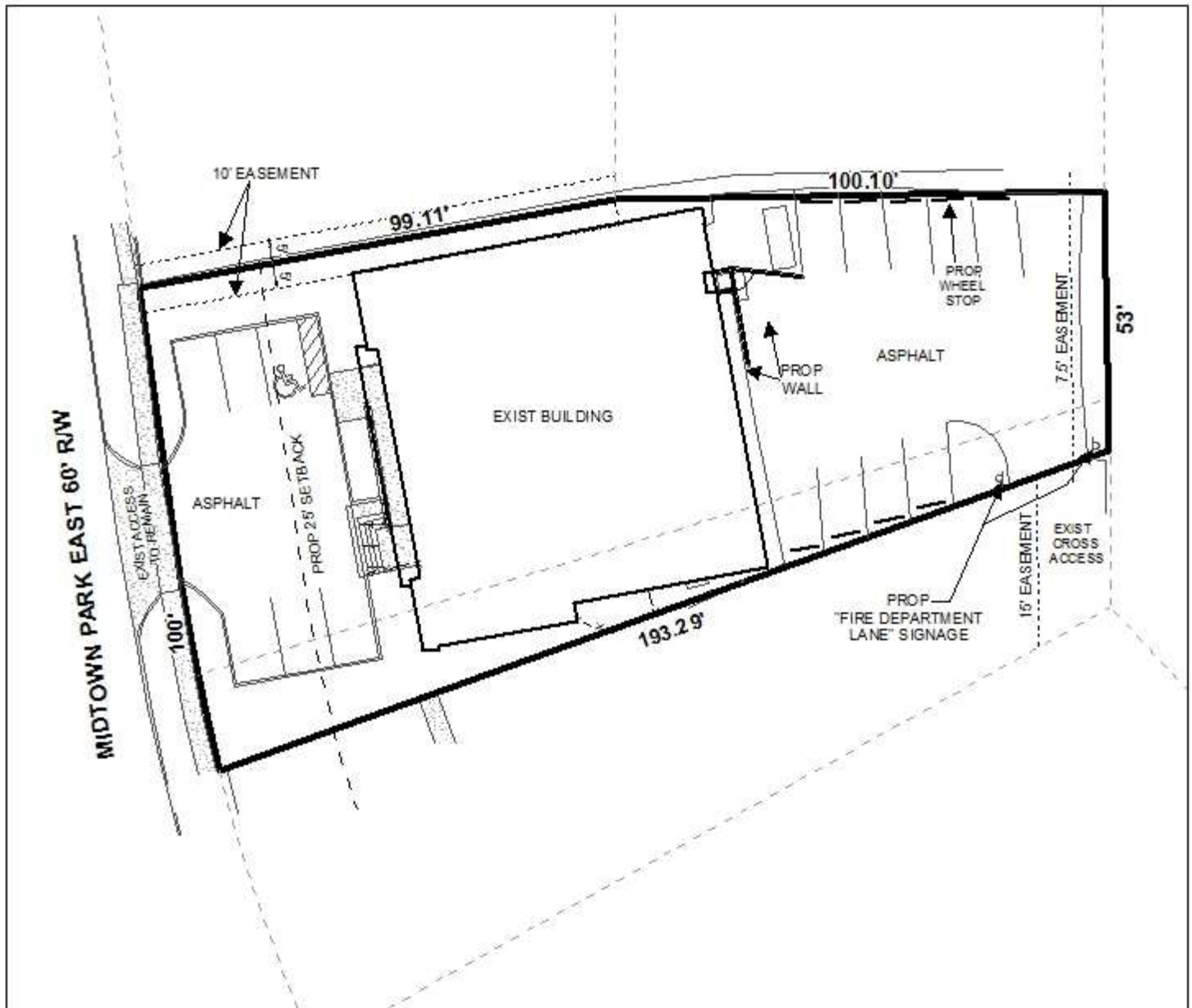


The site is surrounded by miscellaneous business units.

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SITE PLAN



The site plan illustrates the easements, parking, building, and proposed setback.

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