

**PLANNED UNIT DEVELOPMENT &
PLANNING APPROVAL STAFF REPORT****Date: December 1, 2011****NAME**

McGill-Toolen Catholic High School

LOCATION

60 & 64 North Catherine Street and 1501 Old Shell Road
(South side of Old Shell Road extending from the West side of Lafayette Street to the East side of Catherine Street; Northwest corner of Old Shell Road and Kilmarnock Street, and North side of Old Shell Road between Kilmarnock Street and Catherine Street; Northeast corner of Dauphin Street and Lafayette Street; Northwest corner of Dauphin Street and Lafayette Street; Southeast corner of Old Shell Road and Lafayette Street and extending South along the East side of Lafayette Street 695'+

**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

R-1, Single-Family Residence District

AREA OF PROPERTY

19.03 Acres

CONTEMPLATED USE

Planning Approval to amend a previously approved Planning Approval to allow a school in an R-1, Single-Family Residential District, and Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

1. Must comply with all storm water and flood control ordinances, including providing stormwater detention plans and calculations for the proposed improvements.
2. Any work performed in the existing ROW (rights-of-way) will require a Right of Way (ROW) permit from the Engineering Department and must comply with all City of Mobile ROW code and ordinance requirements.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development Master Plan to modify a previously approved parking lot addition and Planning Approval to amend a previously approved Planning Approval Master Plan to modify a previously approved parking lot addition and allow an existing private church school in an R-1, Single-Family Residential District.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the scope of operations for the school or the site plan are changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The applicant received PUD and Planning Approval from the Planning Commission on December 2, 2010, as well as Subdivision and Rezoning Approvals. These approvals were for a parking lot addition at the Northeast corner of Old Shell Road and Catherine Street. The land disturbance permit was issued on May 3, 2011, and the parking lot was constructed. During construction, the approved plans were deviated from, including a realignment of the curb cut to Catherine Street, deletion of the curb cut to Old Shell Road, and addition of parking spaces. This deviation was discovered by Planning Section staff during the final inspection on September 15, 2011.

As previously stated, PUD and Planning Approval reviews are site-plan specific. Because of the changes, new approvals are required. The site, as constructed and shown on the plans, meets the requirements of the Zoning Ordinance. It should also be noted that the plat notes from the Subdivision approval in 2010 are not violated by this change in the site plan, therefore, no new subdivision is required; additionally, the rezoning is also not affected by the change in site plan.

The applicant states that the changes to the site plan were made due to the surveyor not locating power poles during the design and original application process. These power poles were located in the area where the driveways were proposed. The applicant also states that Traffic Engineering requested the deletion of the Old Shell Road curb cut as well as that relocation of the Catherine Street curb cut. Traffic Engineering, while approving the changes, failed to notify the Planning Section staff for review. As such, the site was constructed according to the site plan as amended by the applicant and Traffic Engineering.

The entire site is zoned R-1, however, it is developed in a commercial manner. The site abuts a residentially zoned and developed district to the east; as such, a buffer compliance with Section 64-4.D.1. of the Zoning Ordinance is required. This buffer is shown on the site plan, and has been constructed.

Given that the site plan meets all requirements of the ordinance, the PUD and Planning Approval requests should be approved with the same condition

RECOMMENDATION

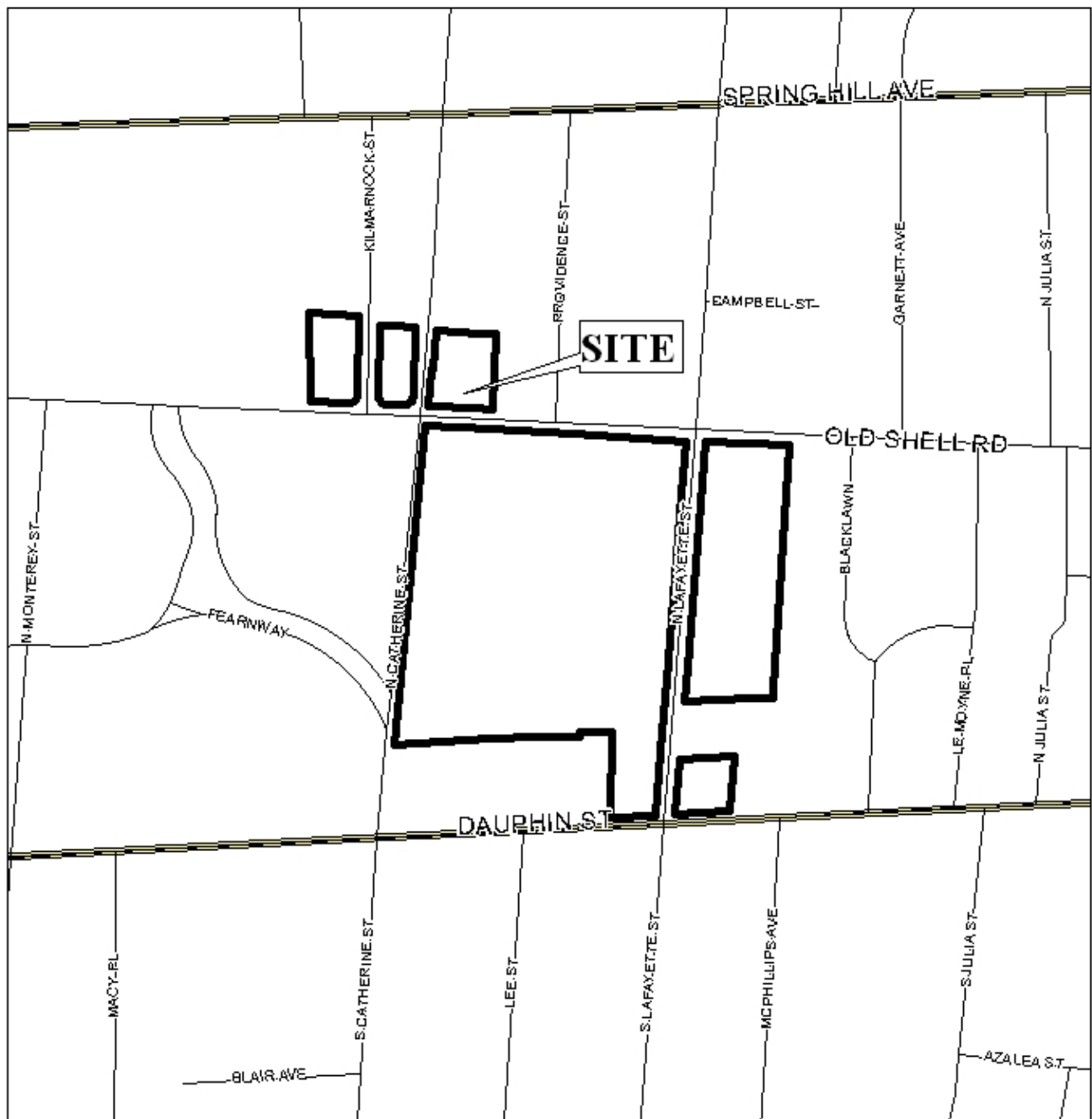
Planning Approval: Based on the preceding, this application is recommended for approval, subject to the following conditions:

- 1) full compliance with the landscaping and tree plantings ordinance; and
- 2) full compliance with all municipal codes and ordinances.

Planned Unit Development: Based on the preceding, the application is recommended for Approval, subject to the following conditions:

- 1) full compliance with the landscaping and tree plantings ordinance; and
- 2) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 11 & 12 DATE December 1, 2011

APPLICANT McGill - Toolen High School

REQUEST Planned Unit Development, Planning Approval















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PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING



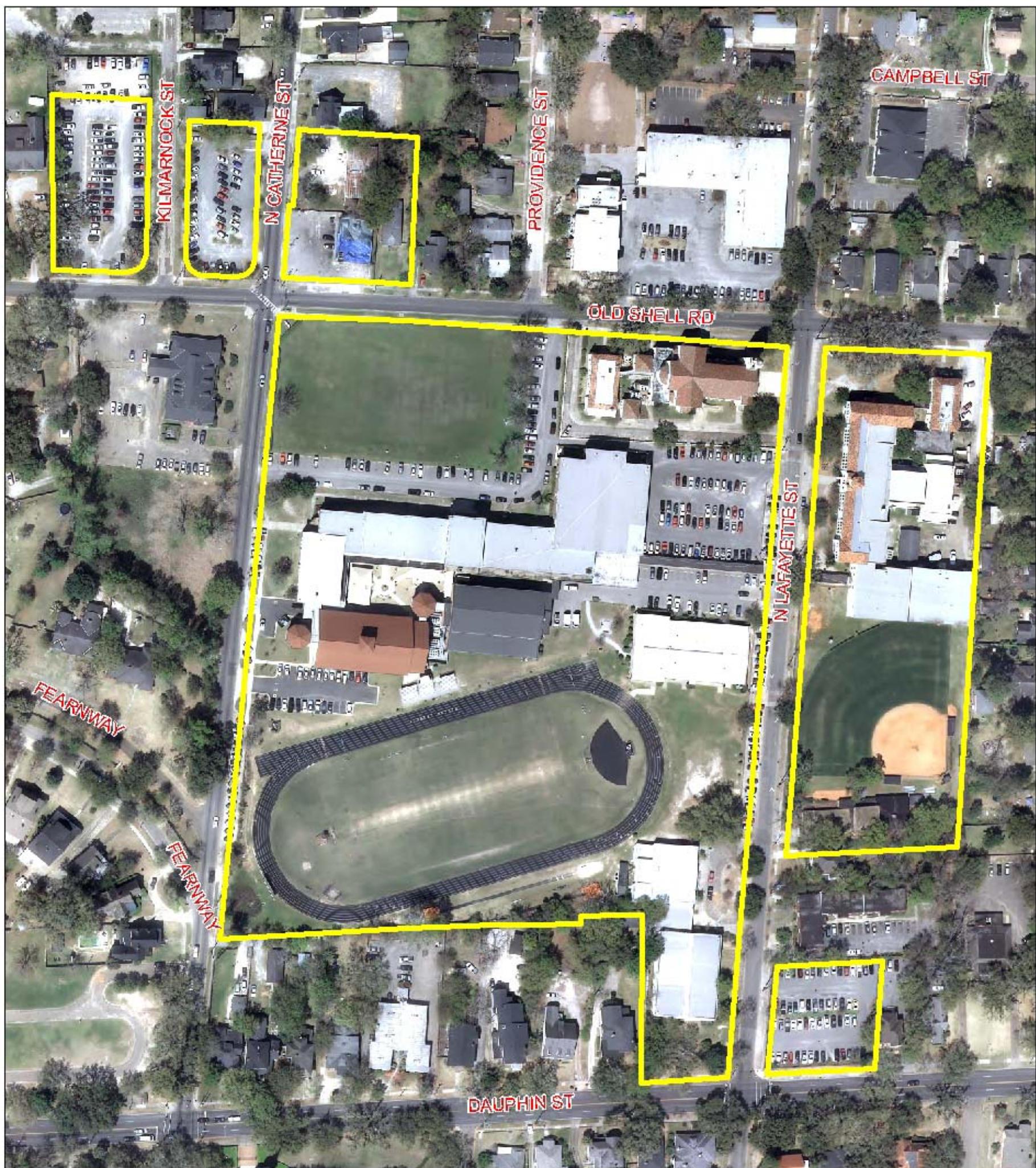
The site is surrounded by residential and business land use.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	HE	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING



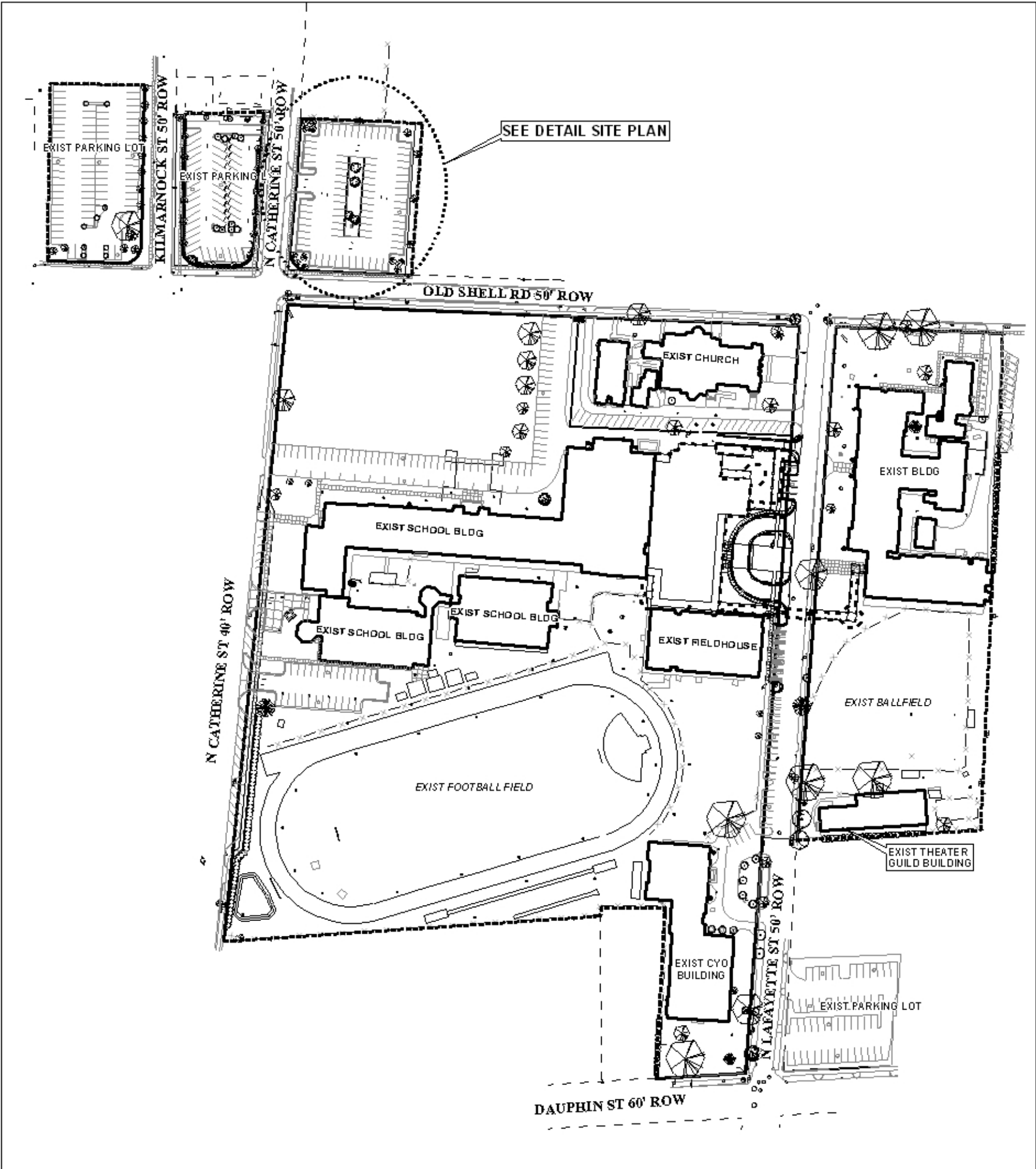
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SITE PLAN



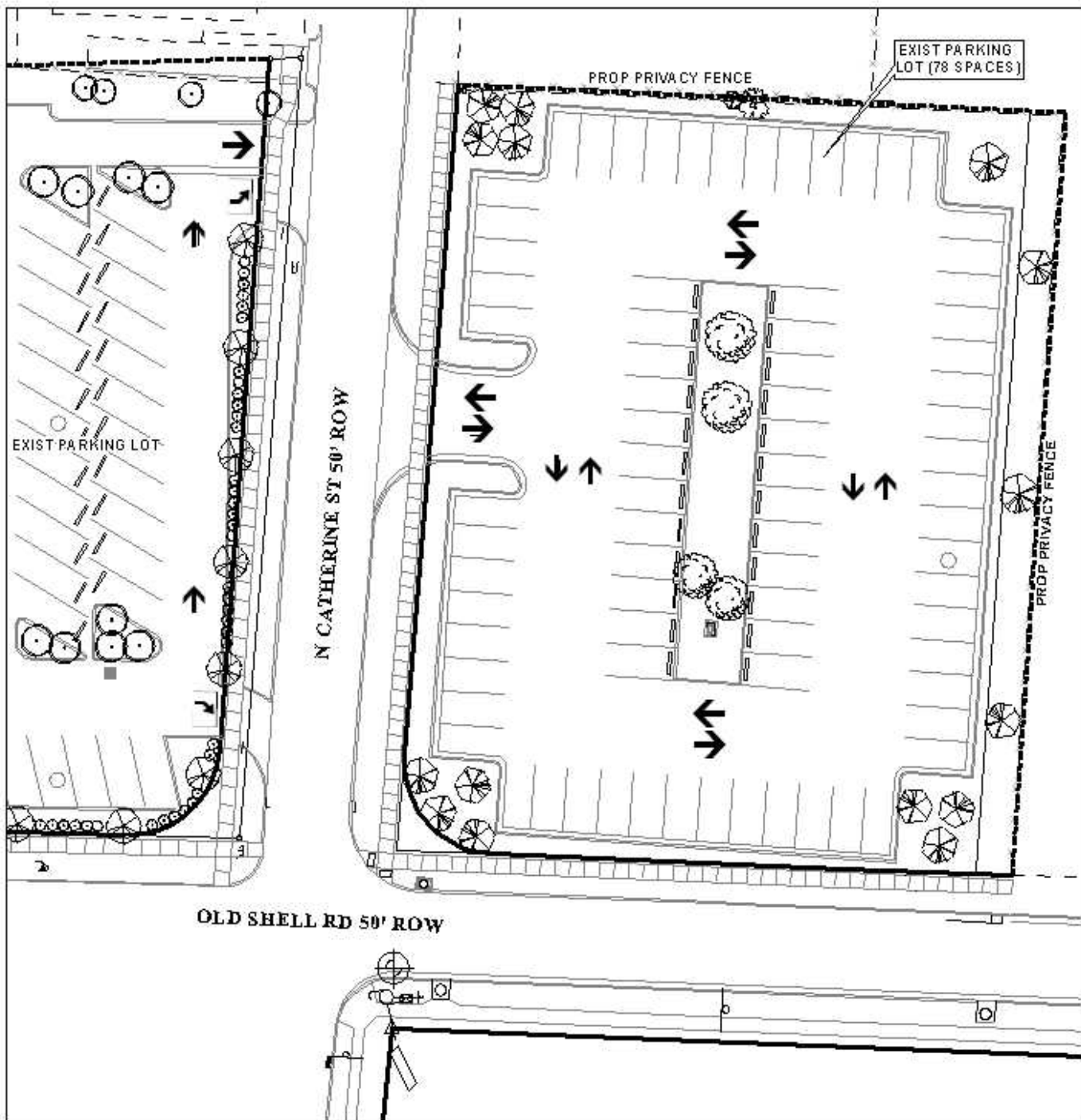
The site plan illustrates the existing facility and the proposed parking area.

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DETAIL SITE PLAN



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