

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: July 3, 2014****DEVELOPMENT NAME**

Azalea Oaks Center Subdivision

SUBDIVISION NAME

Azalea Oaks Center Subdivision

LOCATION3945 and 3949 Government Boulevard
(Southeast corner of Government Boulevard and Azalea Road)**CITY COUNCIL
DISTRICT**

District 4

AREA OF PROPERTY2 Lots/5.9 ± Acres (Subdivision)
1 Lot/2.8 ± Acres (PUD)**CONTEMPLATED USE**

Planned Unit Development Approval to allow multiple buildings on a single building site and Subdivision Approval to create 2 legal lots of record from several existing lots.

**TIME SCHEDULE
FOR DEVELOPMENT**

Not specified.

**ENGINEERING
COMMENTS****Subdivision**

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 23 - #83) the Lots will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.

- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Revise the written legal description or the distance labels for the first section south of the POB and the last section north of the POB to indicate the 200' and 300' distance correctly.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- H. Provide the Surveyor's Certificate.
- I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- J. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.

Planned Unit Development

- 1. Due to the proposed subdivision, the existing structure may need to be assigned a different 911 address. Please contact the Engineering Department (208-6216) to discuss the options.

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The proposed development must comply with all Engineering Department Policy Letters.

TRAFFIC ENGINEERING
COMMENTS

Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until the Capacity application is approved by Volkert Engineering Inc.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site and Subdivision Approval to create 2 legal lots of record from several existing lots.

The applicant proposes to construct an 8,400 sq. ft. commercial building to contain a convenience store and office and warehouse space. The site will also consist of ten (10) pump islands covered by a 62.5' by 179' (1188 sq. ft.) canopy, one (1) pump island for marine fuel covered by a 23' by 28' (644 sq. ft.) canopy, a drive-thru car wash facility, and a 16-stall vacuum area partially covered by an awning.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The purpose of the subdivision request for this site is to create 2 legal lots of record from several existing legal lots.

The preliminary plat illustrates the proposed 5.9 ± Acre subdivision which is located at the Southeast corner of Government Boulevard and Azalea Road. The site is located in Council District 4 and the applicant states that the subdivision is served by city water and sanitary sewer.

In accordance to the Subdivision Regulations, both proposed lots appear to exceed the minimum size requirements. The lot sizes in square feet and acres are illustrated on the preliminary plat and should be retained on the Final Plat.

The site fronts Government Boulevard and Azalea Road. Government Boulevard is a major street according to the Major Street Plan component of the Comprehensive Plan, with a compliant 250' right-of-way. Azalea Road is a minor street with curb and gutter and a compliant 70' right-of-way. It should be pointed out that a minimum right-of-way of **only** 59.90' is depicted on the plat near the location where the proposed Lot 1 and Lot 2 intersect Azalea Road. As the Subdivision Regulations would require only a 50' right-of-way, typically no dedication would be required; however, as the proposed Lot 1 is a corner lot, the provision of a corner radius in compliance with Section V.D.6. of the Subdivision Regulations should be required and, as a result, would increase the minimum portion of the right-of-way. The 25' minimum building setback line and lot size information should also be revised on the Final Plat, if approved.

As a means of access management, the site should be limited to the curb-cuts as recommended in the Traffic Engineering comments:

Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

All proposed parking areas for the proposed Lot 1 also appear to be compliant in terms of travel aisle width, parking stall dimensions, and number of spaces (49); however, it should be pointed out that the proposed parking spaces around the proposed commercial building do not appear to contain any bumper stops or curbing. Any revised site plan or building plan should comply with Section 64-6. of the Zoning Ordinance, in addition to design compliance with the accessibility requirements of the applicable building code section at the time of permitting.

Sidewalks are shown on the site plan as well as proposed dumpster locations. The illustrations should be retained on any revised PUD site plan, along with a note acknowledging compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance.

Landscaping notes, including a proposed tree meeting the criteria which qualify as a credit tree, are included on the site plan and would appear to comply with Section 64-E. of the Zoning Ordinance regarding tree and landscaping requirements. However, it should be pointed out that no proposed trees are illustrated on the site plan and, as such, any revised site plan should depict all proposed trees and landscaping and retain the tree and landscaping notes.

The proposed Lot 1 is not adjacent to residential uses and, therefore, this site is not subjected to the buffer requirements of the Zoning Ordinance. It is important to note that the proposed Lot 2 abuts residentially zoned property; however, no development is proposed at this time. The applicant should be aware that any development of the proposed Lot 2 will require a new PUD application to the Planning Commission.

In regards to the proposed car wash, full carwash compliance of the Zoning Ordinance is required. As such, all water run-off must be directed to the sanitary sewer system, an oil separator must be provided, and vehicles must be screened from view with at 3'-5' evergreen hedge and/or landscaped berm.

Lighting is not illustrated on the site plan. Any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan, and photometric plans may be required at the time of permitting.

It should be pointed out that there was no signage information provided for the proposed commercial building to be located on the proposed Lot 1 and, as no plans or additional information was provided regarding the building layout, Staff cannot determine whether the proposed Lot 1 will be a single or multi-tenant site.

The applicant should keep in mind that as PUDs are site plan specific, the PUD site plan should be revised to depict the location of any proposed freestanding sign structure and comply with Section 64-11. of the Zoning Ordinance at the time of permitting.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Provision of a corner radius along the intersection of Azalea Road and Government Boulevard, in compliance with Section V.D.6. of the Subdivision Regulations;
- 2) Revision of the lot size information and 25' minimum setback line on the Final Plat to reflect dedication;
- 3) Retention of the right-of-way widths for all streets;
- 4) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*
- 5) Compliance with Traffic Engineering Comments and placement of a note on the Final Plat stating: *(Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Engineering Comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes,*

legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity. C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 23 - #83) the Lots will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Revise the written legal description or the distance labels for the first section south of the POB and the last section north of the POB to indicate the 200' and 300' distance correctly. F. Provide and label the monument set or found at each subdivision corner. G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. H. Provide the Surveyor's Certificate. I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. J. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.);

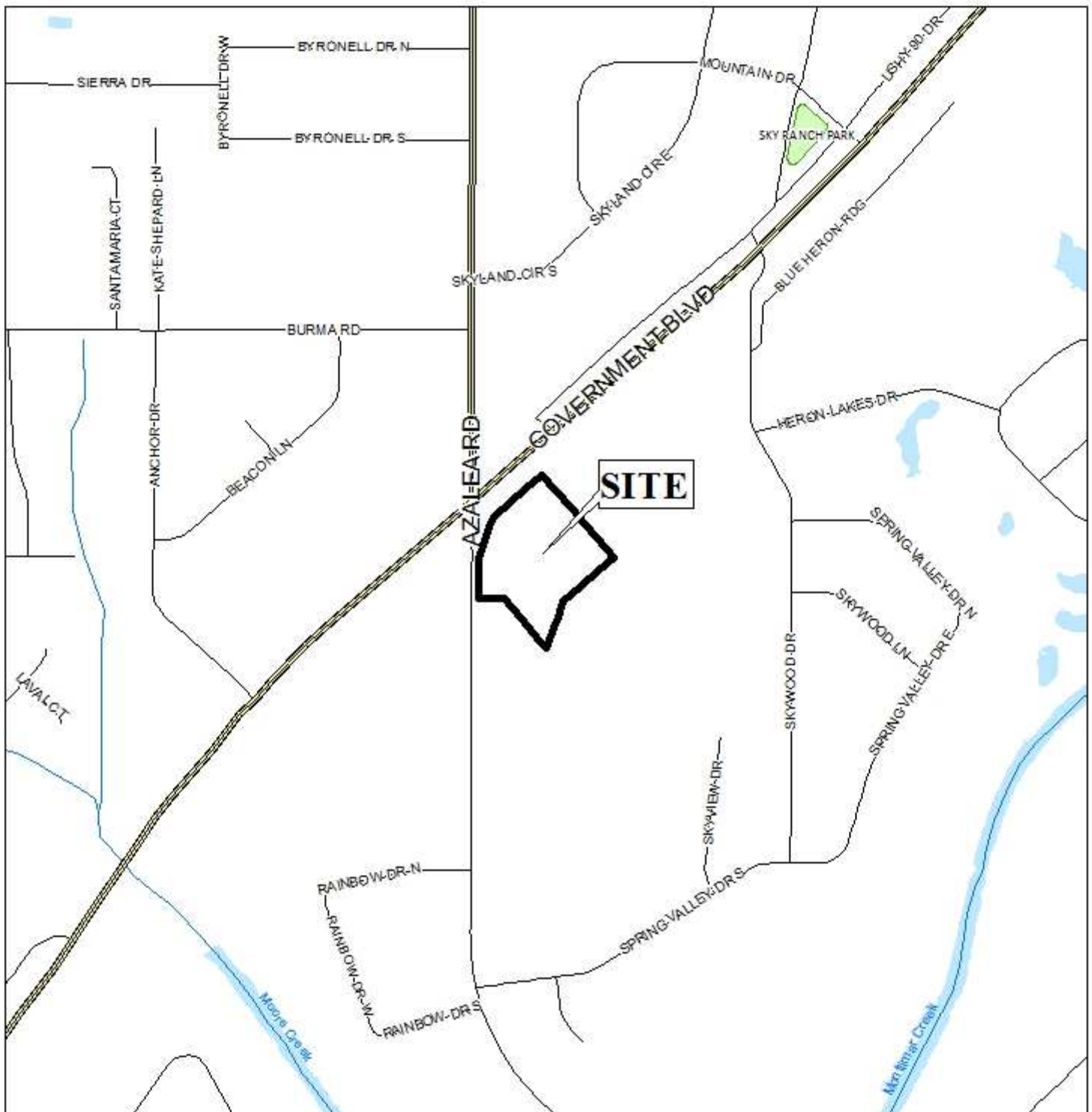
- 7) Compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 8) Compliance with Fire Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.); and*
- 9) Submission of a revised PUD site plan prior to the signing of the Final Plat.

Planned Unit Development: The application is recommended for approval, subject to the following conditions:

- 1) Revision of the site plan to illustrate a corner radius along the intersection of Azalea Road and Government Boulevard in coordination with the Final Plat;
- 2) Revision of the lot size information and 25' minimum setback line on the site plan to reflect dedication;
- 3) Revision of the site plan to illustrate curbing and/or bumper stops for all proposed parking spaces;
- 4) Retention of all sidewalks and dumpsters on the site plan, along with a note stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance;
- 5) Revision of the site plan to retain any trees desired for tree credits and to reflect full compliance with Section 64-4.E. of the Zoning Ordinance regarding tree and landscaping requirements;
- 6) Placement of a note on the site plan stating full compliance with the carwash requirements of the Zoning Ordinance;

- 7) Placement of a note on the site plan stating that development of the proposed Lot 2 will require a new PUD application to the Planning Commission, at the time of development;
- 8) Compliance with Traffic Engineering Comments and placement of a note on the site plan stating: *(Government Boulevard (U.S. Highway 90) is an ALDOT maintained roadway. Lot 1 is limited to two curb cuts to the Service Road, with the size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1 and Lot 2 are limited to one shared curb cut on Azalea Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) Compliance with Engineering Comments: *(1. Due to the proposed subdivision, the existing structure may need to be assigned a different 911 address. Please contact the Engineering Department (208-6216) to discuss the options. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department Policy Letters.);*
- 10) Compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 11) Compliance with Fire Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 12) Submission of a revised PUD site plan prior to the signing of the Final Plat;
- 13) Completion of the Subdivision process prior to any request for building-related permits;
- 14) Submission of a revised site plan at the time of permitting depicting all proposed lighting along with a note stating all new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance. Photometric plans will also be required at the time of permitting;
- 15) Submission of a revised site plan at the time of permitting depicting the location of any proposed freestanding sign structure and comply with Section 64-11. of the Zoning Ordinance at the time of permitting; and
- 16) Full compliance with all other municipal codes and ordinances.

LOCATOR MAP



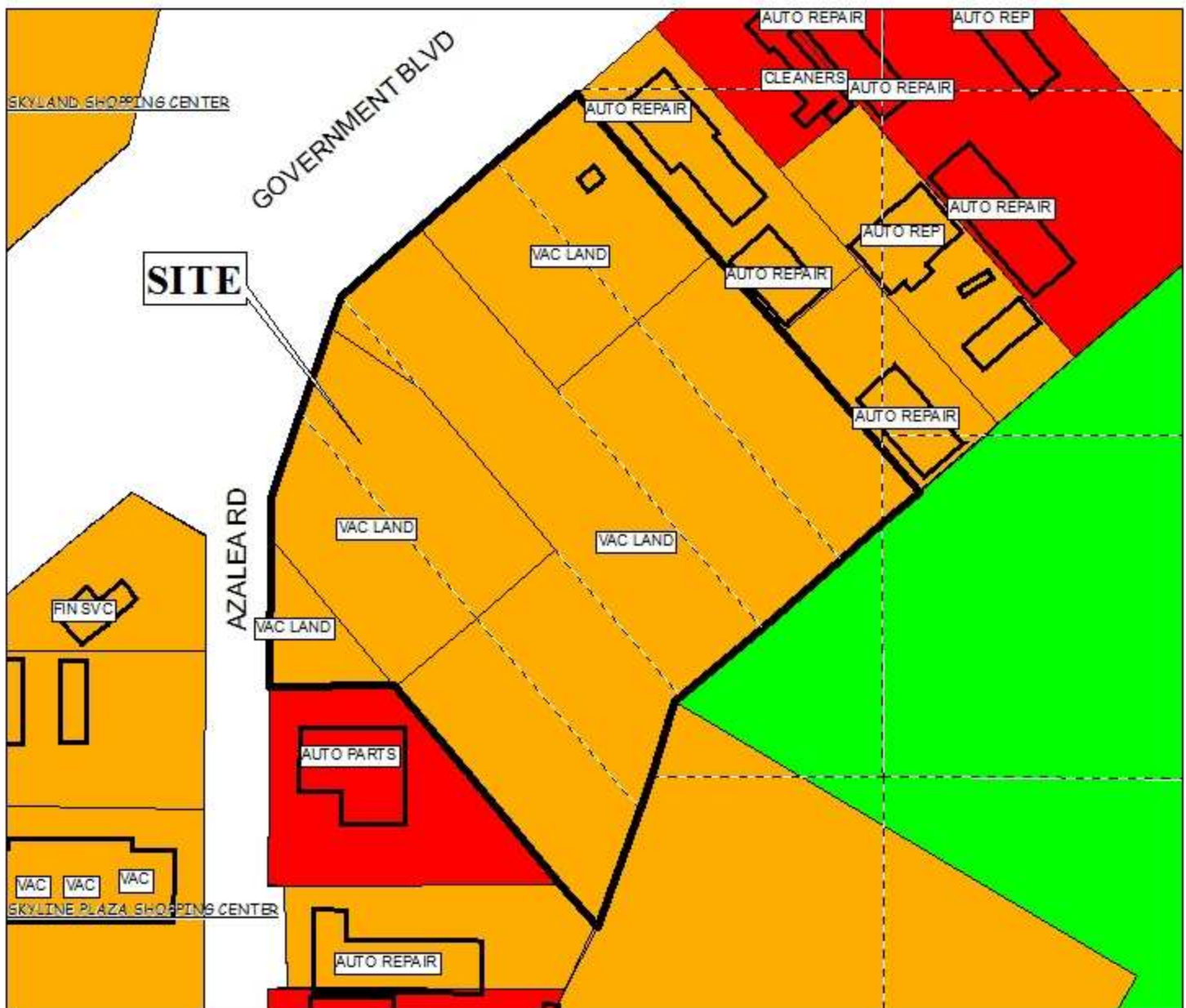
APPLICATION NUMBER 11 & 12 DATE July 3, 2014

APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 11 & 12 DATE July 3, 2014

APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development

RA	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

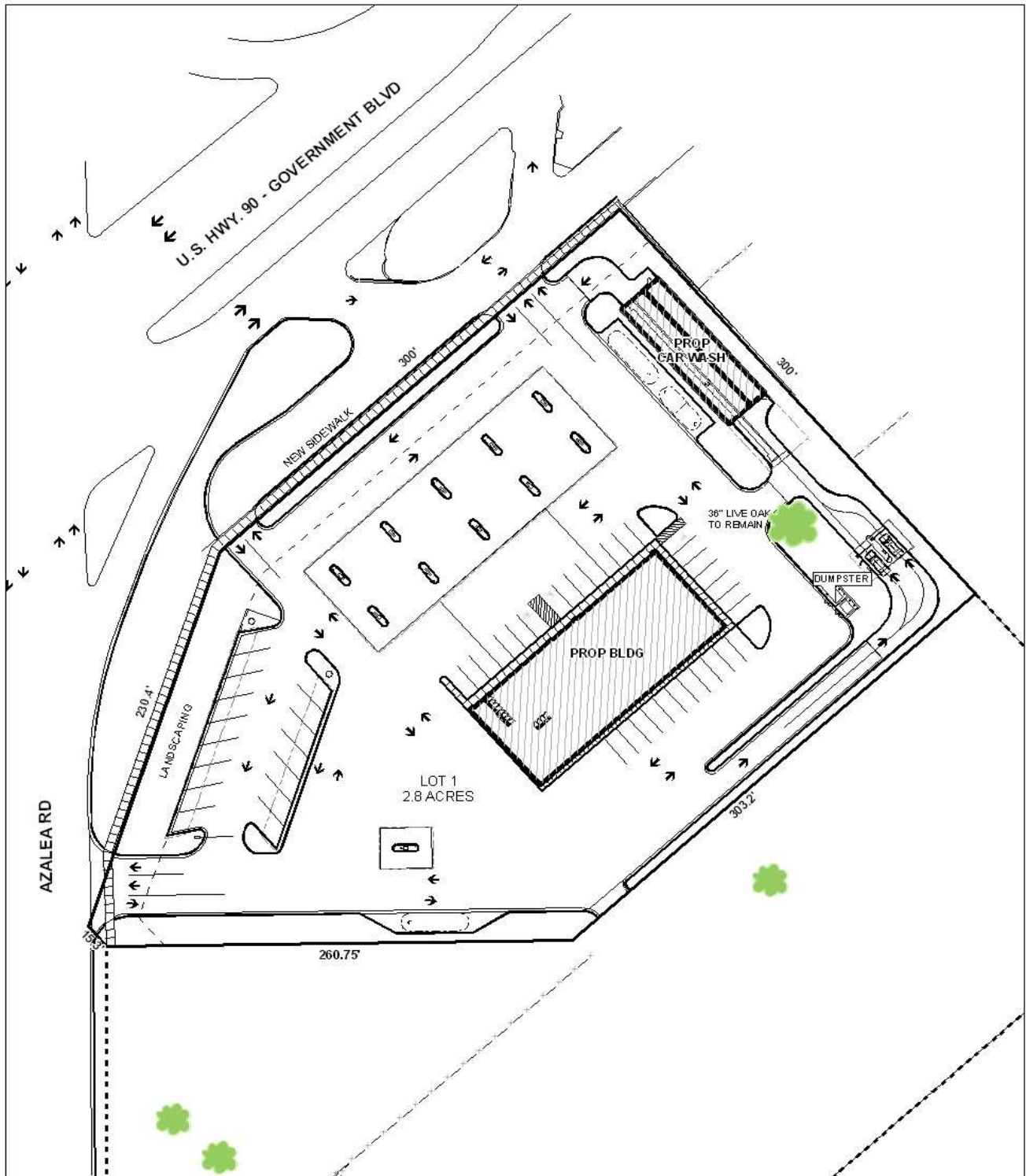
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SITE PLAN



The site plan illustrates the proposed convenience store, tunnel car wash, and setback.

APPLICATION NUMBER 9 & 10 DATE July 3, 2014

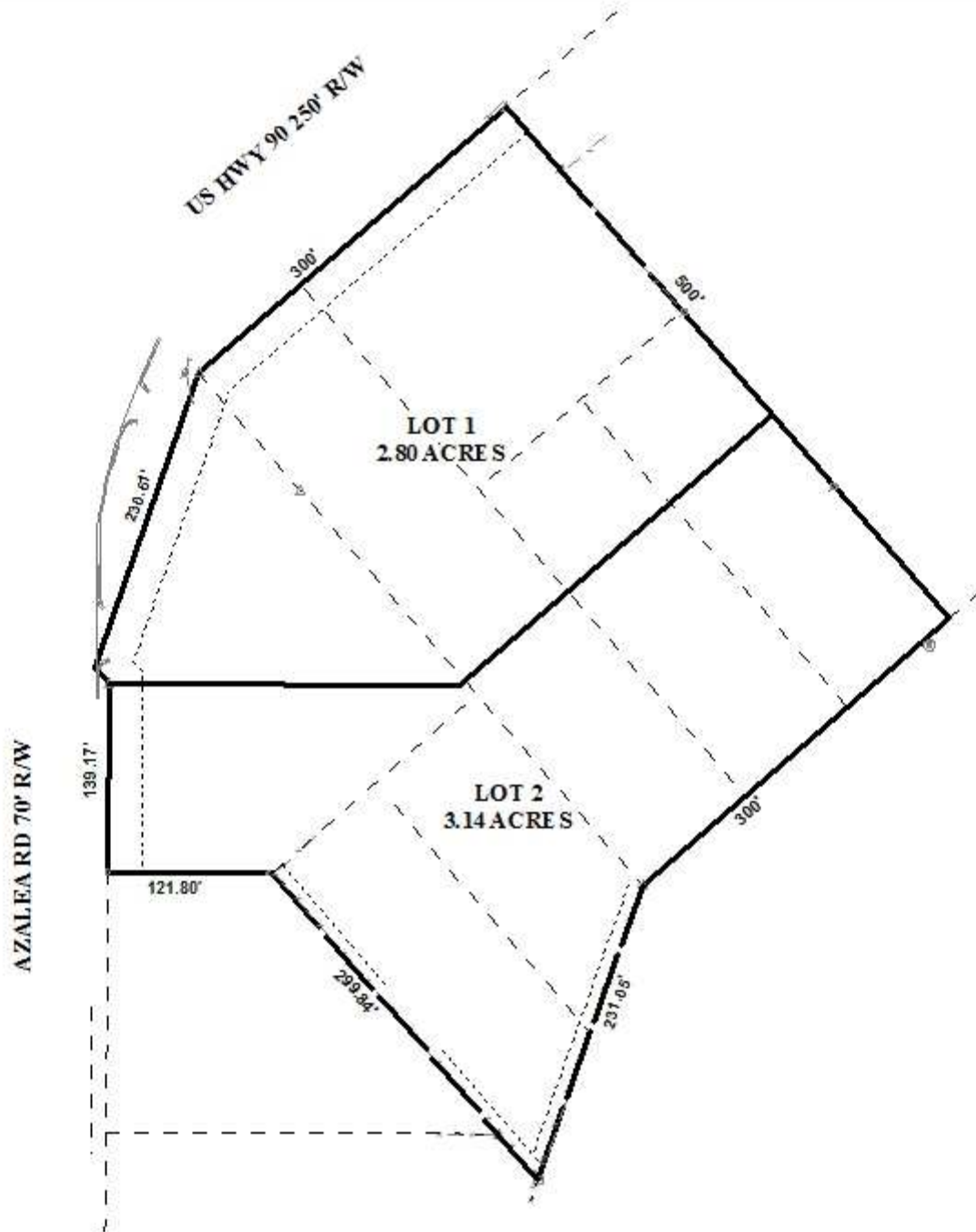
APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 11 & 12 DATE July 3, 2014

APPLICANT Azalea Oaks Center Subdivision

REQUEST Subdivision, Planned Unit Development

