

WHATLEY-STUART SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. The proposed subdivision, REVISION AND ADDITION TO LOT 10, MCGILL-TOOLEN HIGH SCHOOL, and PUD Site Plan for McGill-Toolen HS, shall be approved and accepted.
- B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #73) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control, as follows: LOT 1 – NONE; LOT 2 –NONE.
- E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- F. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- G. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- H. Provide and label the monument set or found at each subdivision corner.
- I. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- J. Provide the Surveyor's Certificate and Signature.
- K. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- L. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- M. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to one driveway, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWWS Comments: WAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2-lot, 0.4± acre subdivision, which is located at the Southwest corner of Old Shell Road and Blacklawn Street, in Council District 2. The applicant states the site is served by city water and sewer services.

The purpose of this application is to resubdivide two existing legal lots of record and an existing metes-and-bounds parcel into two legal lots of record. This application is in conjunction with the one-lot Subdivision, Planning Approval and Planned Unit Development applications associated with the proposed Mother's Day Out program for McGill Toolen High School. As the one-lot Subdivision for Lot 10 of McGill-Toolen Subdivision will actually include the rear 18' of the current properties associated with this application, and will not include these properties in the school's Subdivision application, if approved, this Subdivision should be recorded prior to the recording of the School's one-lot Subdivision, if approved.

The site consists of all of Lots 12 and 13 of Blacklawn's Subdivision, and the North 5' of Lot 11 of that subdivision. That 5' strip was parceled from Lot 11 in 1928 and attached to Lot 12; therefore, the inclusion of Lot 11 in this application would not apply since the action pre-dates the enactment of the Subdivision Regulations. This application is intended to legally combine that 5' strip onto Lot 12 and to also separate the rear 18' from the entire site in order to be combined into the proposed McGill-Toolen Subdivision, Revision and Addition to Lot 10.

As proposed, Lot 1 would contain 6,732 square feet, less than the 7,200 required by Section V.D.2. of the Subdivision Regulations. And both lots would be less than the minimum 60' width at the building setback line required as per that section. However, as there are other substandard size lots both within the Blacklawn's Subdivision and within the immediate vicinity across Old Shell Road, a waiver of that section would seem in order.

The site fronts Old Shell Road and Blacklawn Street, both minor streets with complaint 50' rights-of-way; therefore, no dedication would be required. However, the plat should be revised to provide a 25' radius curve at the intersection of Old Shell Road and Blacklawn Street, if determined to be necessary by Traffic Engineering or Engineering. As a means of access management, each lot should be limited to one curb, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

Each lot should be labeled with its size in square feet and acres, with the size of Lot 1 revised for any required dedication, or a table should be furnished on the Final Plat providing the same information.

The plat indicates a proposed 25' building setback along Old Shell Road and Blacklawn Street, and 5' setbacks along internal lot lines. An 8' rear setback is proposed. However, as the site is within the Old Dauphin Way Historic District, a note should be required on the Final Plat stating that all setbacks would be subject to the Historic District Overlay of the Zoning Ordinance if standard setbacks are not applied. A note should also be required on the Final Plat stating that each lot is limited to a maximum of 50% site coverage by all structures.

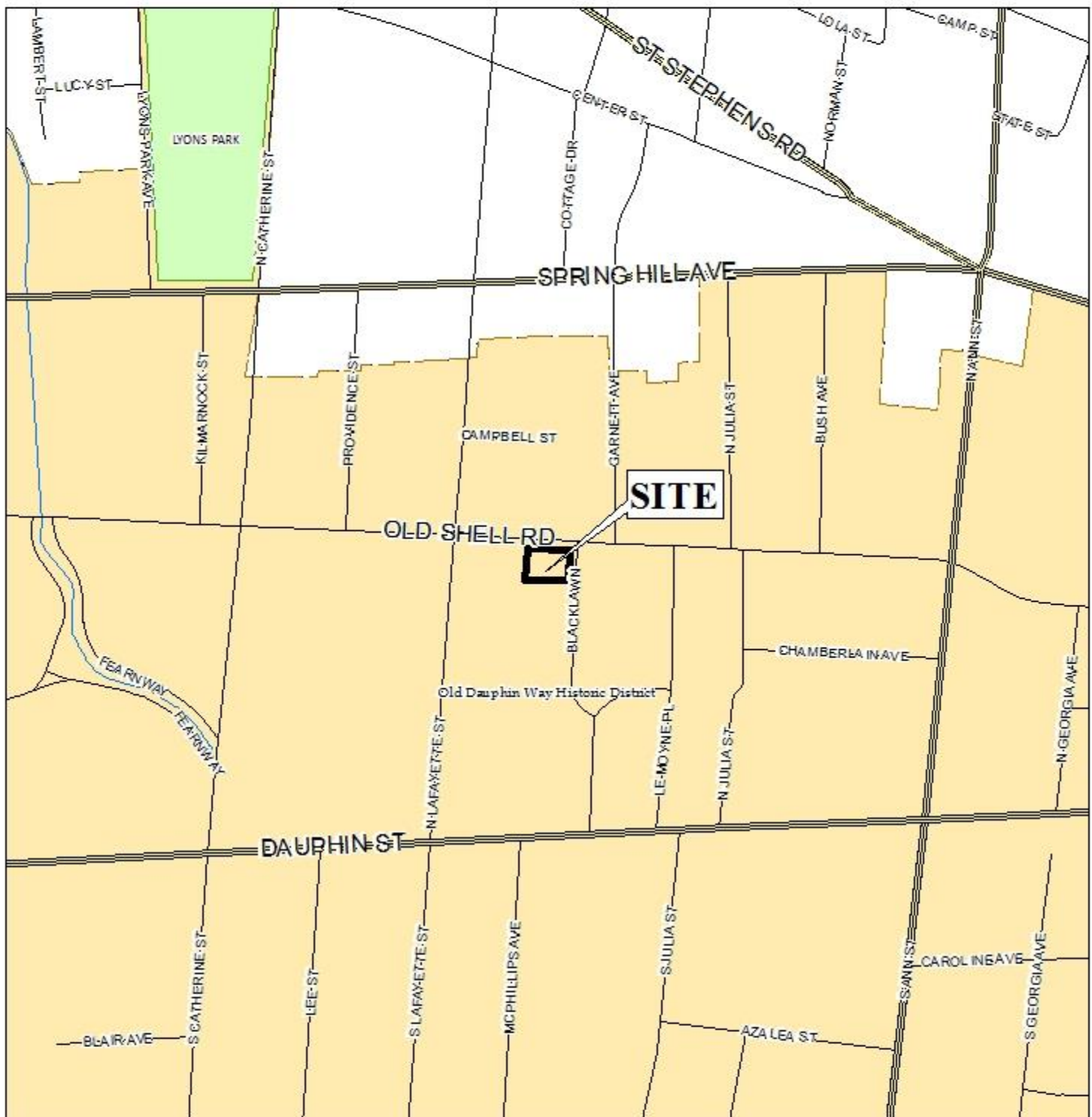
With a waiver of Section V.D.2., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) approval of McGill-Toolen High School Subdivision, Revision and Addition to Lot 10 prior to signing the Final Plat for this subdivision;
- 2) recording of this subdivision prior to signing the Final Plat for McGill-Toolen Subdivision, Revision and Addition to Lot 10;
- 3) dedication to provide a 25' radius curve at the intersection of Old Shell Road and Blacklawn Street, if determined to be necessary by Traffic Engineering or Engineering;
- 4) placement of a note on the Final Plat stating that each lot is limited to one curb cut, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) labeling of each lot with its size in square feet and acres, with the size of Lot 1 revised for any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 6) placement of a note on the Final Plat stating that all setbacks would be subject to the Historic District Overlay of the Zoning Ordinance if standard setbacks are not applied;
- 7) placement of a note on the Final Plat stating that each lot is limited to a maximum of 50% site coverage by all structures;
- 8) subject to the Engineering comments: *[The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
 - A. *The proposed subdivision, REVISION AND ADDITION TO LOT 10, MCGILL-TOOLEN HIGH SCHOOL, and PUD Site Plan for McGill-Toolen HS, shall be approved and accepted.*
 - B. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.*
 - C. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
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 - E. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.*
 - F. *Revise the plat to label each lot with its size in acres and*

square feet, or the furnishing of a table on the Plat providing the same information. G. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. H. Provide and label the monument set or found at each subdivision corner. I. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. J. Provide the Surveyor's Certificate and Signature. K. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. L. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. M. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.];

- 9) *subject to the Traffic Engineering comments: (Each lot is limited to one driveway, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) *subject to the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).] and;*
- 11) *subject to the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]*

LOCATOR MAP



APPLICATION NUMBER 10 DATE July 9, 2015

APPLICANT Whatley-Stuart Subdivision

REQUEST Subdivision



WHATLEY-STUART SUBDIVISION

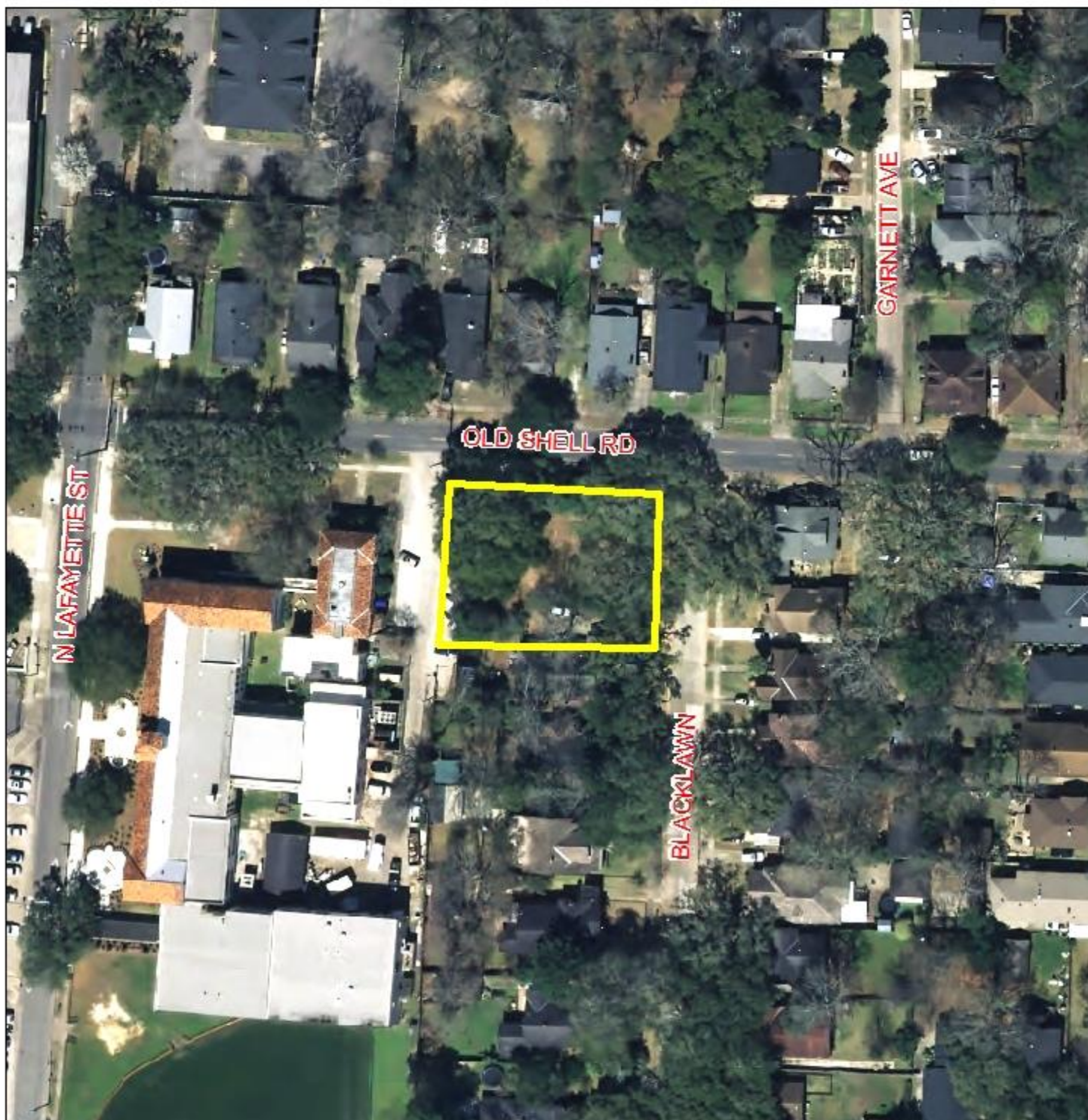


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



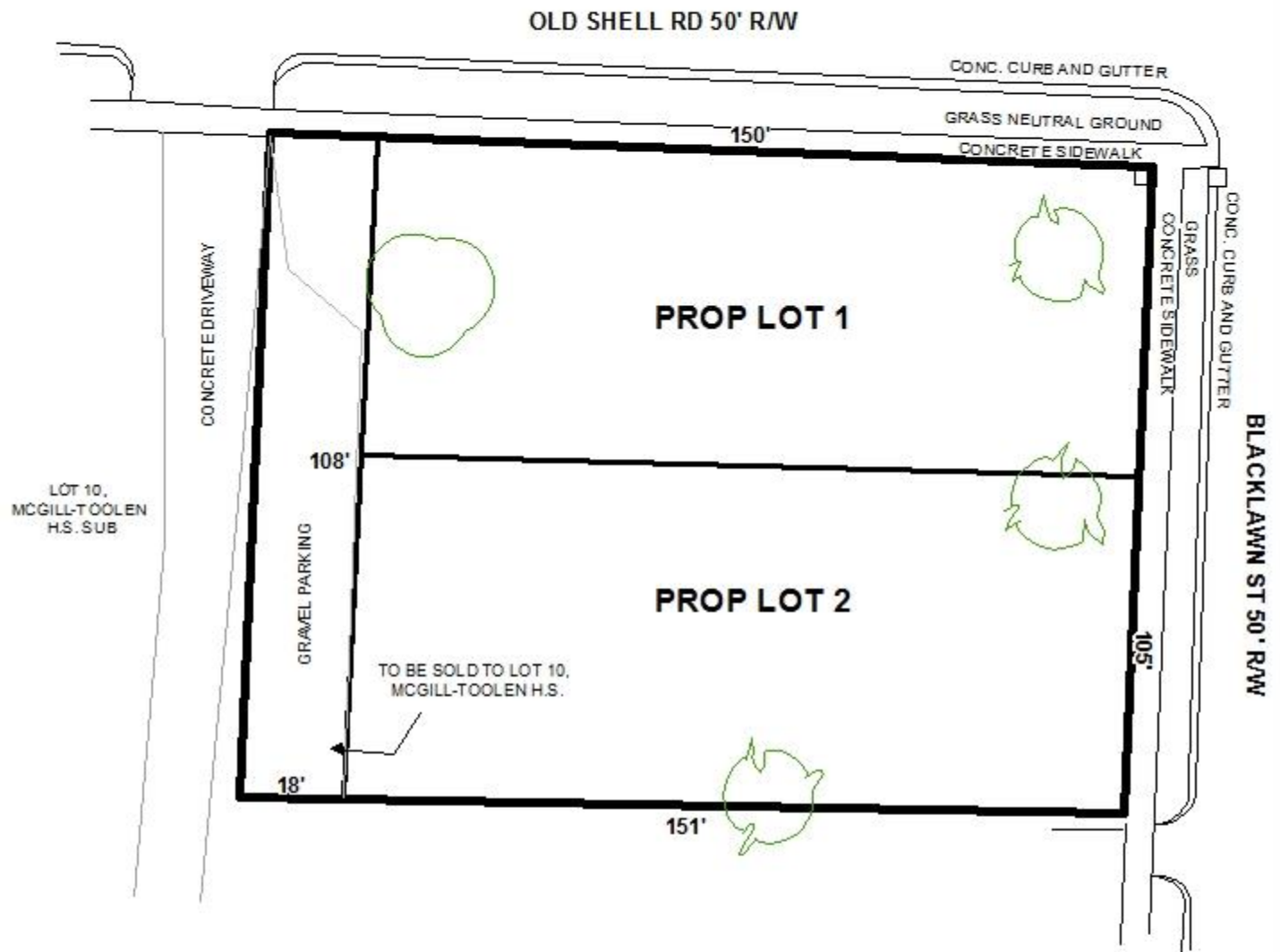
WHATLEY-STUART SUBDIVISION



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SITE PLAN



The site plan illustrates the proposed lots, trees, and drive.

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