

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: January 18, 2007****NAME**

Washington Plaza Affordable Housing, Ltd.

LOCATION410 South Washington Avenue
(Southwest corner of Savannah Street and South
Washington Avenue, extending to the North terminus of
South Scott Street).**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

R-3, Multi-Family Residential

AREA OF PROPERTY

5.7± Acres

CONTEMPLATED USEPUD Approval to allow an addition to a previously existing
building, a new gazebo, a new mail building, a new garden
area, a new shuffleboard court, and a new picnic area to an
existing 11-building apartment complex on a single
building site.**TIME SCHEDULE**

None stated

**ENGINEERING
COMMENTS**Provide detention for all impervious area constructed post
1984, the year the Flood Plain Management Plan was implemented. Verify the capacity of the
outfall to accept the additional storm water runoff from the additional impervious area proposed.
Must comply with all storm water and flood control ordinances. Any work performed in the
right of way will require a right of way permit**TRAFFIC ENGINEERING
COMMENTS**Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards.**URBAN FORESTRY
COMMENTS**Property to be developed in compliance with state and local
laws that pertain to tree preservation and protection on both city and private properties (State Act
61-929 and City Code Chapters 57 and 64).**FIRE DEPARTMENT
COMMENTS**

No Comments.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow minor additions to an existing 11-building apartment complex on a single building site. PUD approval is required for any addition or modification to an existing PUD or multi-building development.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The applicant proposes to construct an addition to a previously existing building, a new gazebo, a new mail building, a new garden area, a new shuffleboard court, and a new picnic area. Other improvements will include renovations and repairs to the existing buildings, repairs to the existing paving, and provision of new pads and enclosures for the existing dumpsters. As these improvements do not impact the site plan/layout, they are not at issue with this application, but are mentioned to show the overall scope of the project. The new construction is located in the interior of the site, should have no effect on properties outside the PUD, and should not impact circulation or access within the PUD.

The plat illustrates a sign (located at the Washington Avenue entrance to the site) that appears to be partially in the right-of-way. The sign should be relocated to comply with minimum setback requirements for signs (leading edge a minimum of 18" from property line).

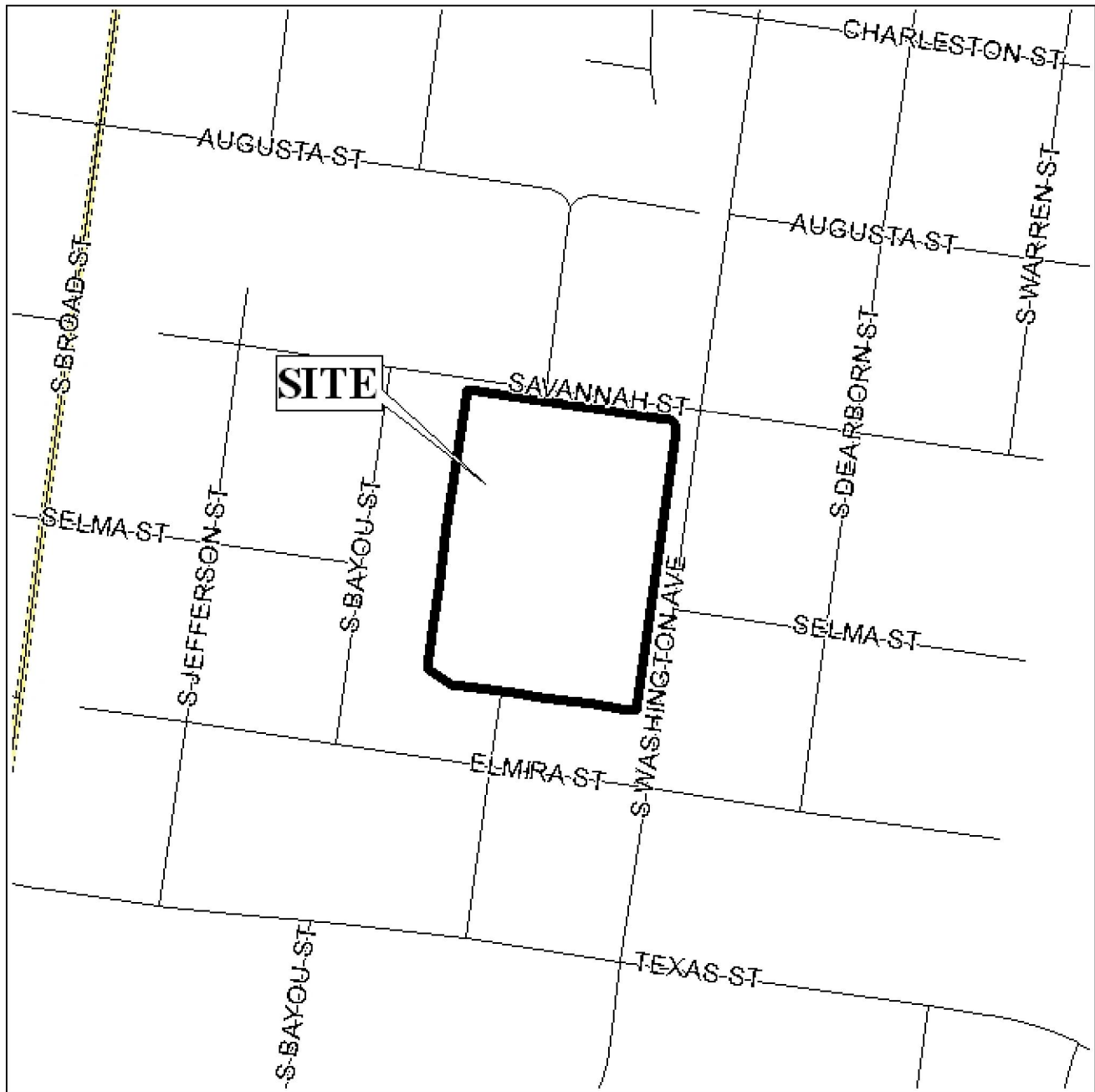
Typically, when considering an application for PUD approval, the Commission has required some level of compliance with the landscaping and tree planting requirements of the Zoning Ordinance, dependant upon the scale of the project. In this instance, as adequate green space exists within the development, the provision of tree plantings for the project area, to be coordinated with Urban Forestry, would be appropriate.

Additionally, there are several large trees on site - 36", 48", 60" and 72" oaks, all of which should be given preservation status. All work under the canopies is to be permitted and coordinated with Urban Forestry, removal to be permitted by Urban Forestry only in the case of disease or impending danger

RECOMMENDATION

Based upon the preceding, the request is recommended for approval subject to the following conditions: 1) relocation of the sign at the Washington Avenue entrance to comply with minimum setback requirements (leading edge a minimum of 18" from property line); 2) provision of tree plantings for the project area, to be coordinated with Urban Forestry; and 3) Preservation Status is given to the 36", 48", 60" and 72" oaks, as shown on the plan submitted. All work under the canopies is to be permitted and coordinated with Urban Forestry, removal to be permitted by Urban Forestry only in the case of disease or impending danger.

LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential units.
Churches are located to the north and south of the site.

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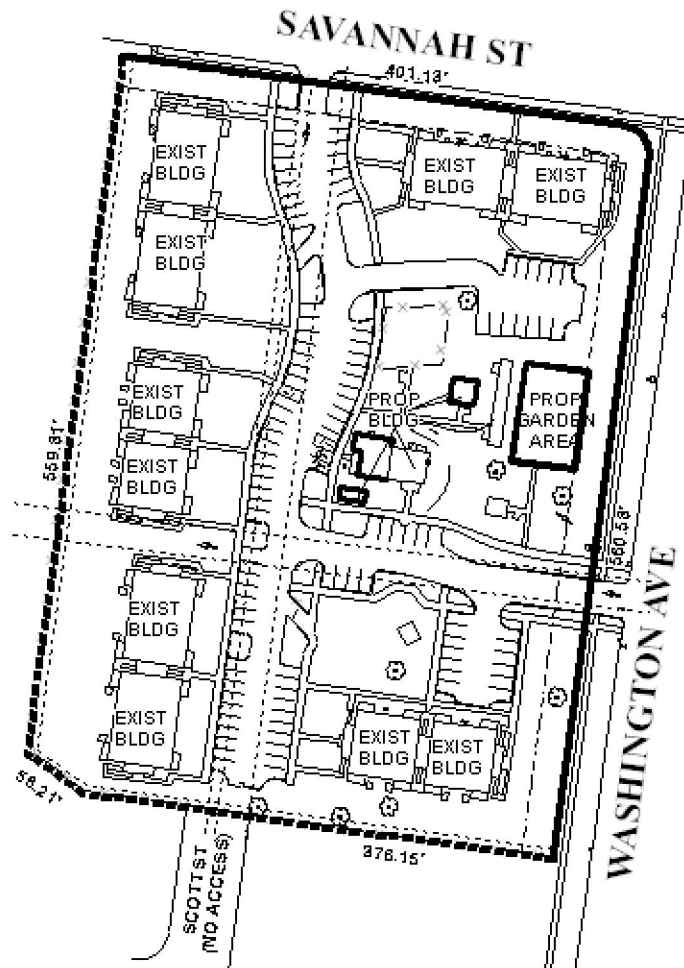
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



The site plan illustrates the proposed buildings, existing buildings, and existing parking

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