

## **SPRINGHILL MEMORIAL GARDENS SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed two-lot, 40.3± acre subdivision which is located on the East side of Pierce Road, 1168'± North of Airport Boulevard. The subdivision, which is located outside the Mobile City Limits, is served by public water and individual septic systems.

The purpose of this application is to create two legal lots from one metes and bounds parcel. Lot 1 would consist of the existing cemetery and Lot 2 would be the remainder of the property to the North and East sides of the cemetery.

Both lots would have frontage on Pierce Road. Lot 1 (the cemetery) currently has one curb cut to Pierce Road. Each lot should be limited to two curb cuts to Pierce Road, with the size, location, and design to be approved by the Mobile County Engineering Department.

No building setback line is shown on the plat; therefore, a 25' minimum building setback line off Pierce Road should be depicted on the final plat. No note is on the plat referencing buffering between commercially developed property and residentially developed property; therefore, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The site is in the unincorporated part of Mobile County; nevertheless, development should be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances. Submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits should be required. Certification should be submitted to the Planning Section of Urban Development and County Engineering.

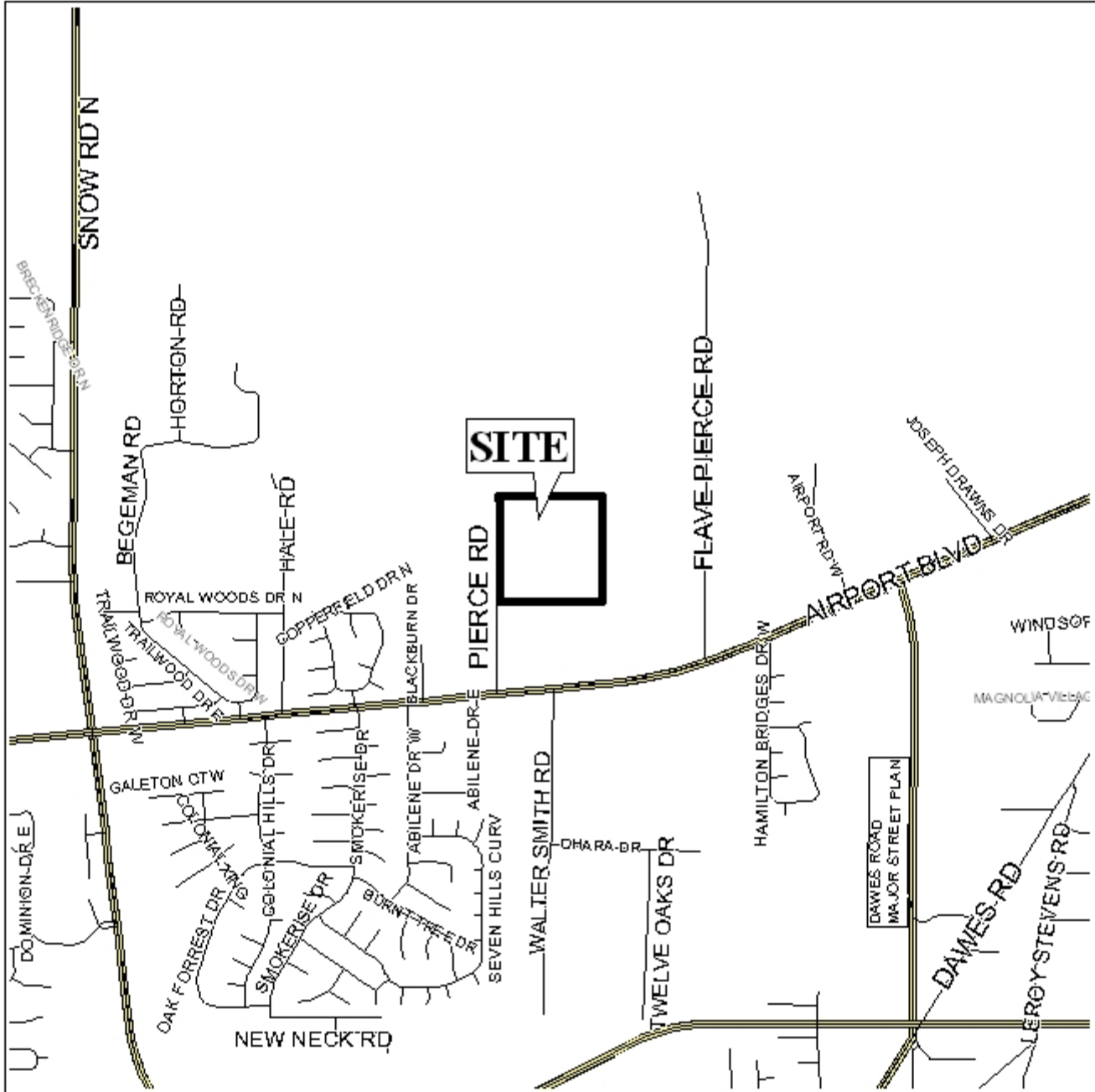
The site may contain wetlands. The presence of wetlands indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that each lot is limited to two curb cuts with the size, location and design of all curb cuts to be approved by the Mobile County Engineering Department;
- 2) depiction of the 25' minimum building setback line along Pierce Road;
- 3) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;

- 4) placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning Section of Urban Development and County Engineering;
- 5) placement of a note on the final plat stating that the approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities; and
- 6) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat depicting the same information.

# LOCATOR MAP



APPLICATION NUMBER 10 DATE June 21, 2007

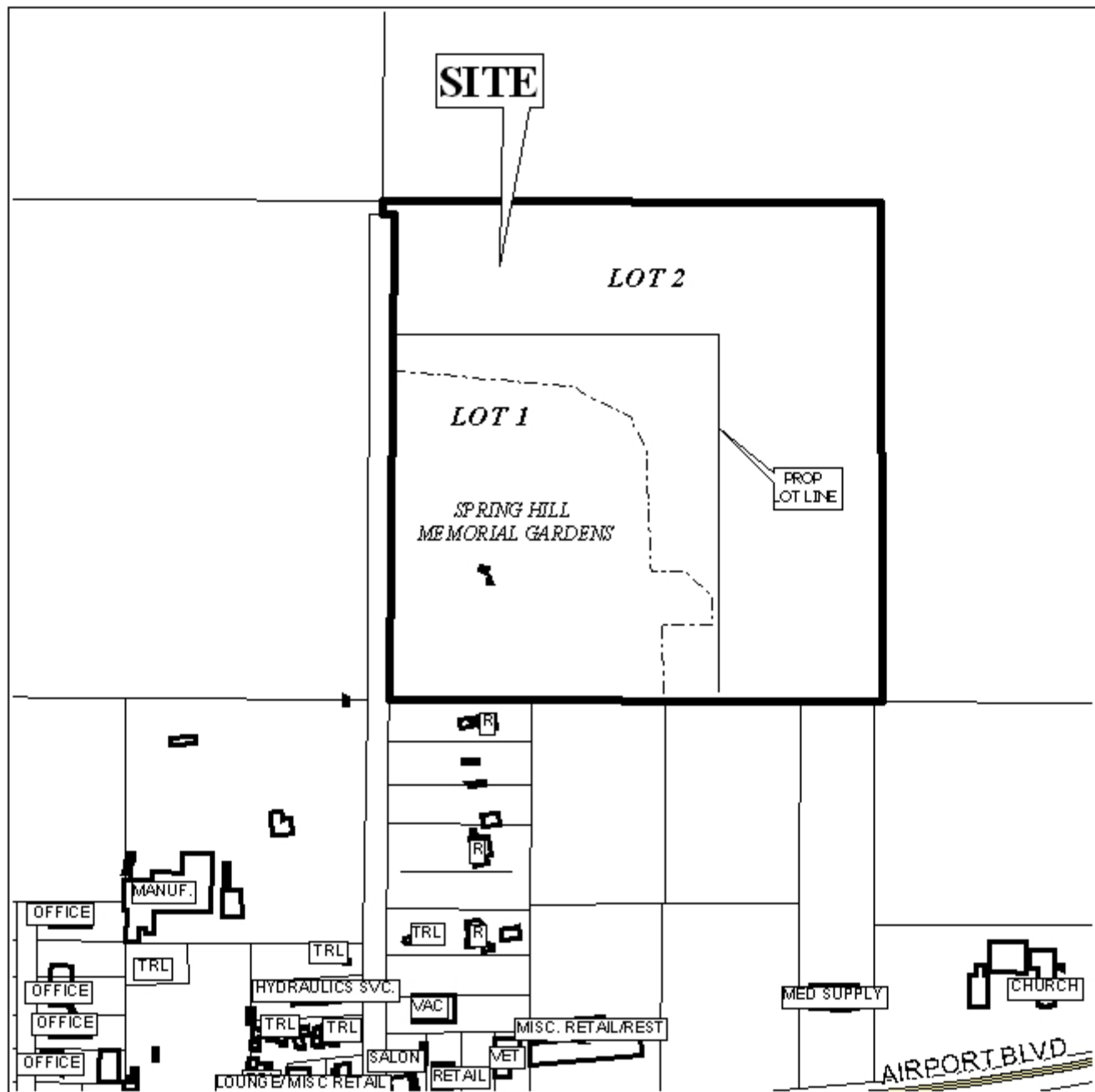
APPLICANT Springhill Memorial Gardens Subdivision

REQUEST Subdivision



NTS

# SPRINGHILL MEMORIAL GARDENS SUBDIVISION



APPLICATION NUMBER 10 DATE June 21, 2007

LEGEND

|     |     |     |     |     |     |     |      |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
|     |     |     |     |     |     |     |      |     |     |     |     |     |     |
| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



NTS