

## **SNOW ROAD PROFESSIONAL PARK SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments were provided.

The plat illustrates the proposed 2 lot, 7.7 ± acre subdivision which is located on the Southeast corner of Airport Boulevard and Snow Road, and is located within the Planning Jurisdiction. The applicant does not state whether or not the subdivision is served by city water and sanitary sewer; however both of the proposed lots meet the minimum dimension in size as required by the Subdivision Regulations for public services, private services, or no services.

The purpose of this application is to create 2 legal lots of record from an existing legal lot of record. The previous 1 lot subdivision was approved by the Planning Commission at its November 5, 1987 meeting. The applicant is now proposing to re-subdivide the existing lot to create 2 legal lots.

The site fronts Airport Boulevard and Snow Road, both of which are proposed major streets with planned 100' rights-of-way, as illustrated on the Major Street Plan. However, the plat indicates the right-of-way width of Airport Boulevard as "varies", and that the right-of way width of Snow Road is 80'. Therefore the dedication of any necessary right-of-way to provide 50' from centerline of Airport Boulevard as well as dedication to provide 50' from centerline of Snow Road will be required. The plat should be revised to illustrate the rights-of-way of both streets to be identified as having a 100' right-of-way.

The 25' minimum building setback line is depicted along both street frontages and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat limiting Lot B to one curb-cut to Airport Boulevard and two curb-cuts to Snow Road, and limiting Lot A to one curb cut to Snow Road, with the size, location, and design of all curb cuts to be approved by County Engineering and conform to AASHTO standards.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring

submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning and Zoning Department and County Engineering.

The lot sizes are labeled in square feet and acres; this should be retained of the Final Plat, or a table should be provided furnishing the same information.

It should also be pointed out there is a utility easement located along the entire eastern portion of both properties. A note should be placed on the plat stating no structures shall be placed within any easement.

The scale is not shown on the preliminary plat. If approved, a scale should be illustrated on the Final Plat.

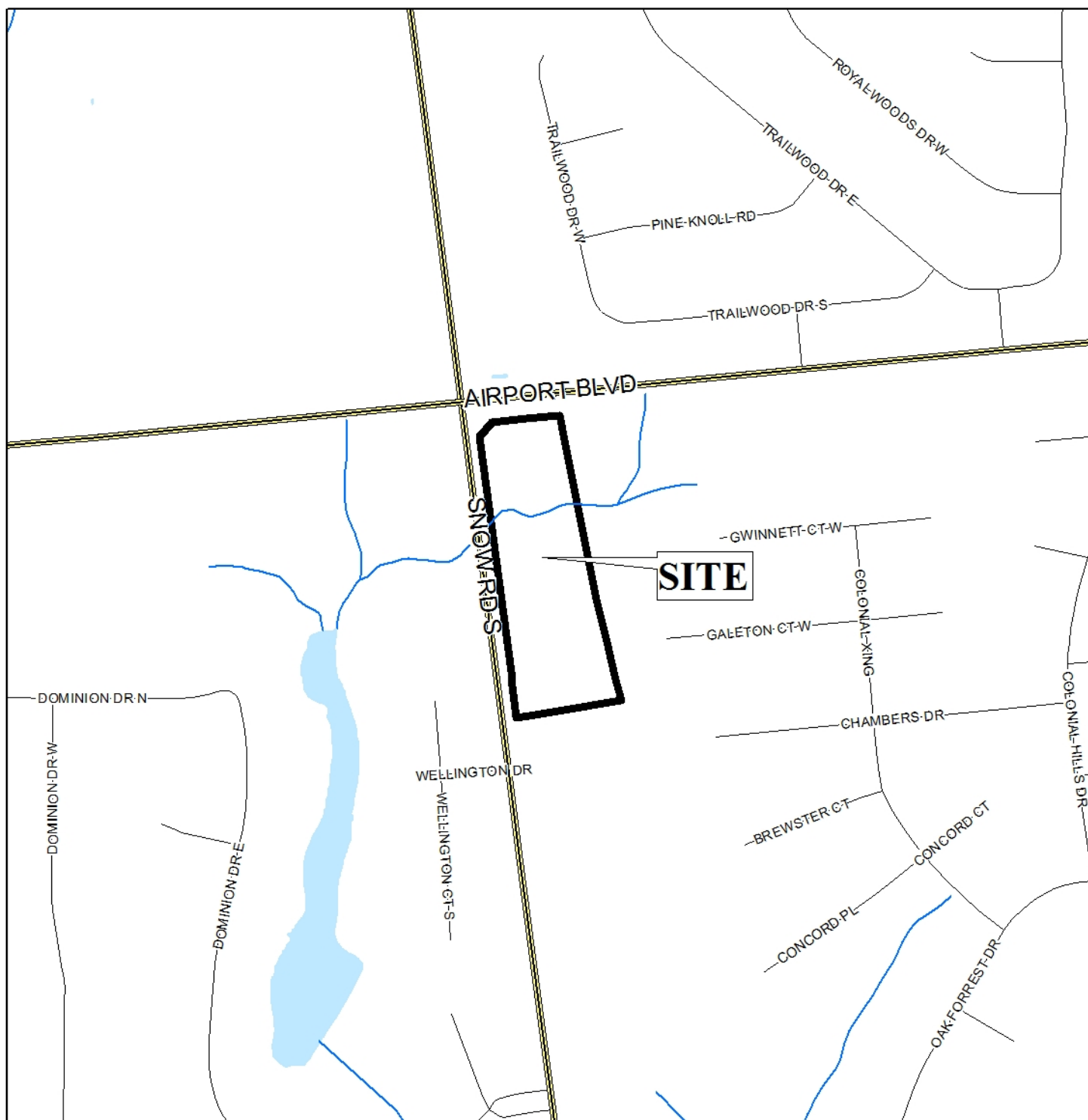
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to depict the right-of-way widths of Airport Boulevard and Snow Road and provide dedication to allow a right-of-way width of 50' as measured from the centerline;
- 2) revision of the 25-foot minimum building setback line to reflect dedication;
- 3) revision of the Final Plat to depict a scale;
- 4) retention of the labeling of the lots in square feet and acres, (revised for any dedication) or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat limiting Lot B to one curb-cut to Airport Boulevard and two curb-cuts to Snow Road, and limiting Lot A to one curb-cut to Snow Road, with the size, location, and design of all curb cuts to be approved by County Engineering and conform to AASHTO standards;
- 6) placement of a note on the Final Plat stating no structures shall be placed within any easement;
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 8) placement of a note on the Final Plat stating that development *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* and

- 9) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)”*.

# LOCATOR MAP



APPLICATION NUMBER 10 DATE February 16, 2017

APPLICANT Snow Road Professional Park Subdivision

REQUEST Subdivision



# LOCATOR ZONING MAP



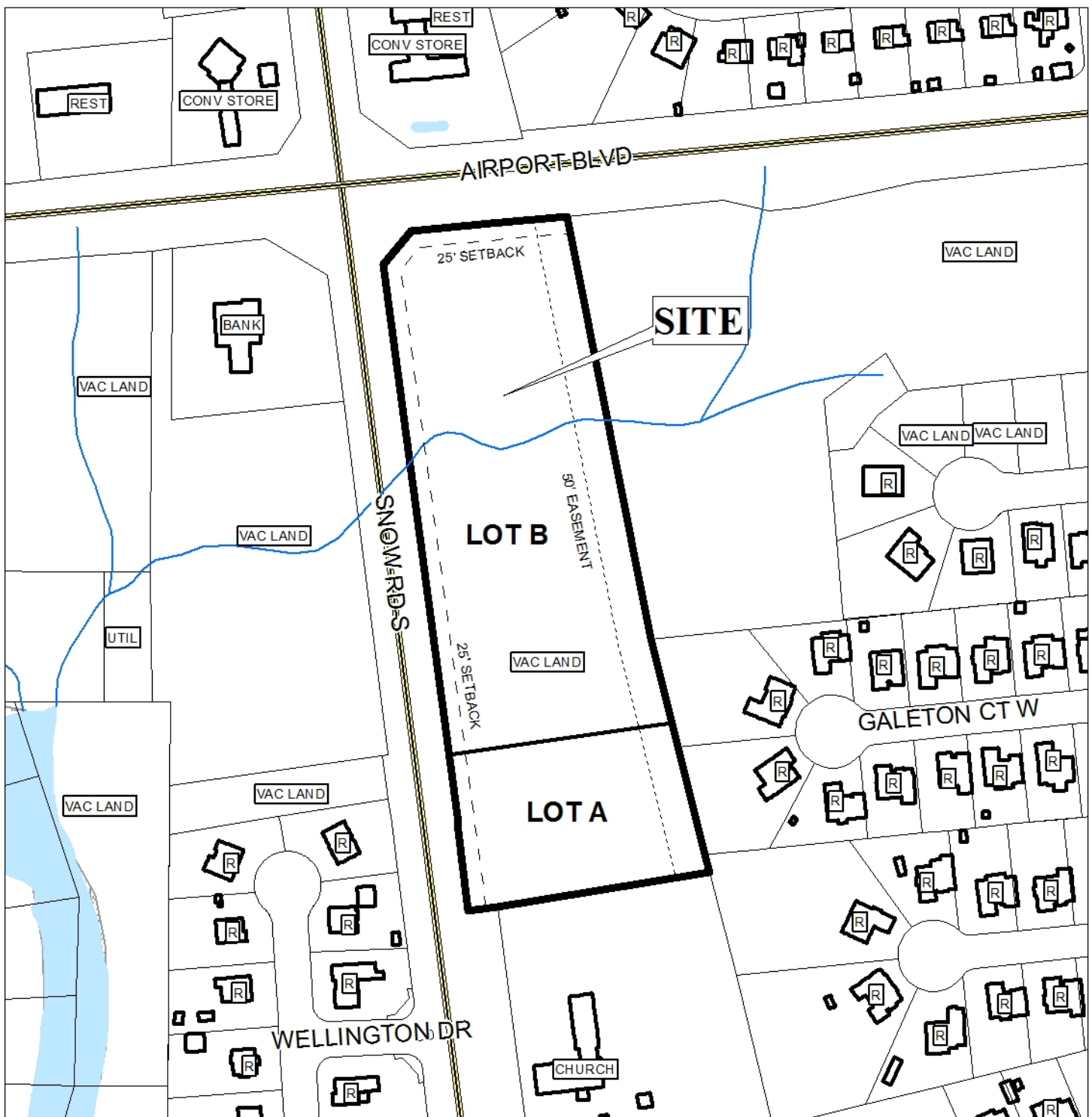
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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