

SKY VIEW POINTE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 6-lot, 4.8± acres subdivision located on the Northeast corner of McDonald and U.S. Highway 90 West, extending to the South side of Boe Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems. The purpose of this application is to create six legal lots of record from one metes-and-bounds parcel.

The site has frontage on U.S. Highway 90 to the South, a major street requiring a 250' right-of-way; McDonald Road to the West, a minor street without curb and gutter requiring a 60' right-of-way; and Boe Road to the North, a minor, unpaved street without curb and gutter, also requiring a 60' right-of-way. The existing right-of-way depicted along U.S. Highway 90 is 120', making dedication to provide 125' from the centerline necessary. Along McDonald Road and Boe Road the existing rights-of-way are depicted as 60', therefore no dedication should be required.

Dedication of the corner radii at U.S. Highway 90 and McDonald Road, as well as McDonald Road and Boe Road, are illustrated as required by Section V.D.6. of the Subdivision Regulations and should be retained on the Final Plat, if approved.

As a means of access management, a note should be required on the Final Plat stating that Lots 2, 3, 4, and 5 are limited to one curb cut each to McDonald Road; that Lot 1 is limited to a total of two curb cuts; and that Lot 6 is limited to one curb cut to McDonald Road and one curb cut to Boe Road, with their sizes, locations and designs to be approved by ALDOT (as necessary) and Mobile County Engineering, and conform to AASHTO standards.

The preliminary plat indicates a 25' building setback line along all frontages for each of the proposed lots, as required by Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat, adjusted for any required dedications.

Each lot meets the minimum size requirements of the Subdivision Regulations and is appropriately labeled on the preliminary plat. If approved, this information should be retained on the Final Plat, adjusted for any right-of-way dedications, or a table should be furnished on the Final Plat providing the same information.

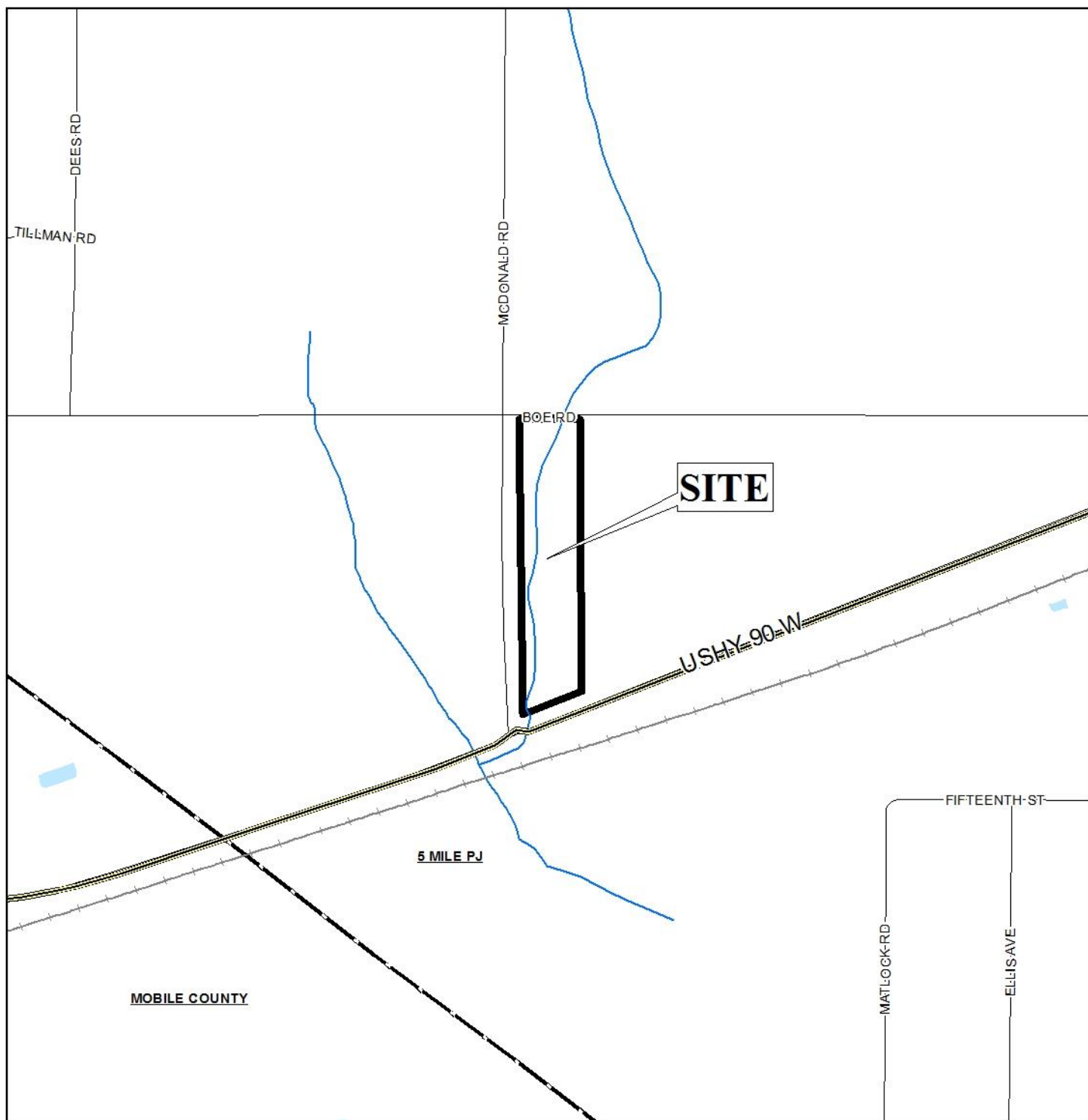
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site will have to comply with the Mobile County storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

The proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) dedication to provide 125' from the centerline of U.S. Highway 90;
- 2) placement of a note on the Final Plat stating that Lots 2, 3, 4, and 5 are limited to one curb cut each to McDonald Road; that Lot 1 is limited to a total of two curb cuts; and that Lot 6 is limited to one curb cut to McDonald Road and one curb cut to Boe Road, with their sizes, locations and designs to be approved by ALDOT (as necessary) and Mobile County Engineering, and conform to AASHTO standards.
- 3) retention of the building setback line for each lot on the Final Plat;
- 4) retention of the lot sizes in square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information, adjusted for dedication;
- 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*; and
- 7) placement of a note on the Final Plat to comply with the Fire Department comments: *“Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)”*

LOCATOR MAP



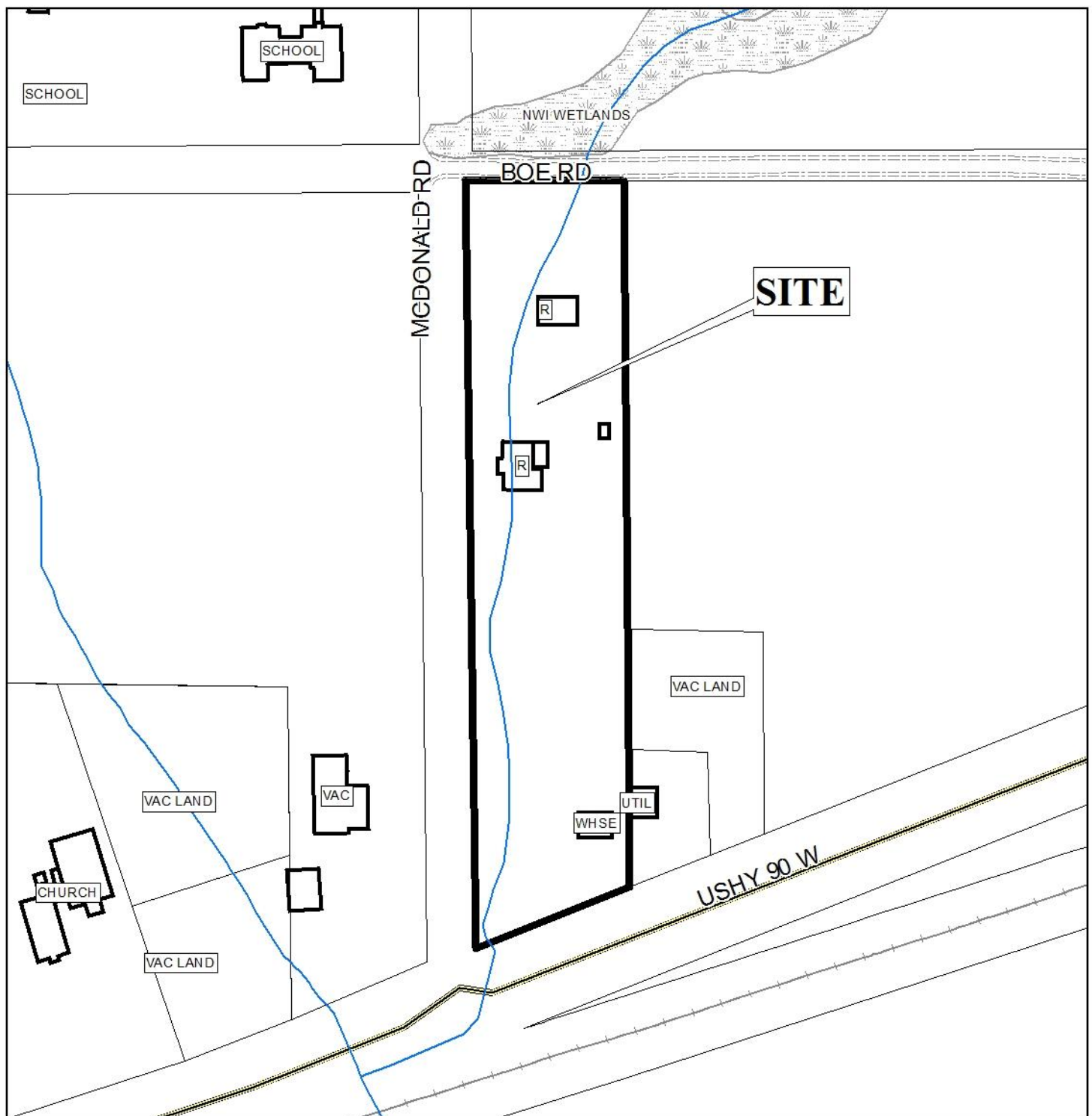
APPLICATION NUMBER 10 DATE May 5, 2016

APPLICANT Sky View Pointe Subdivision

REQUEST Subdivision



SKY VIEW POINTE SUBDIVISION

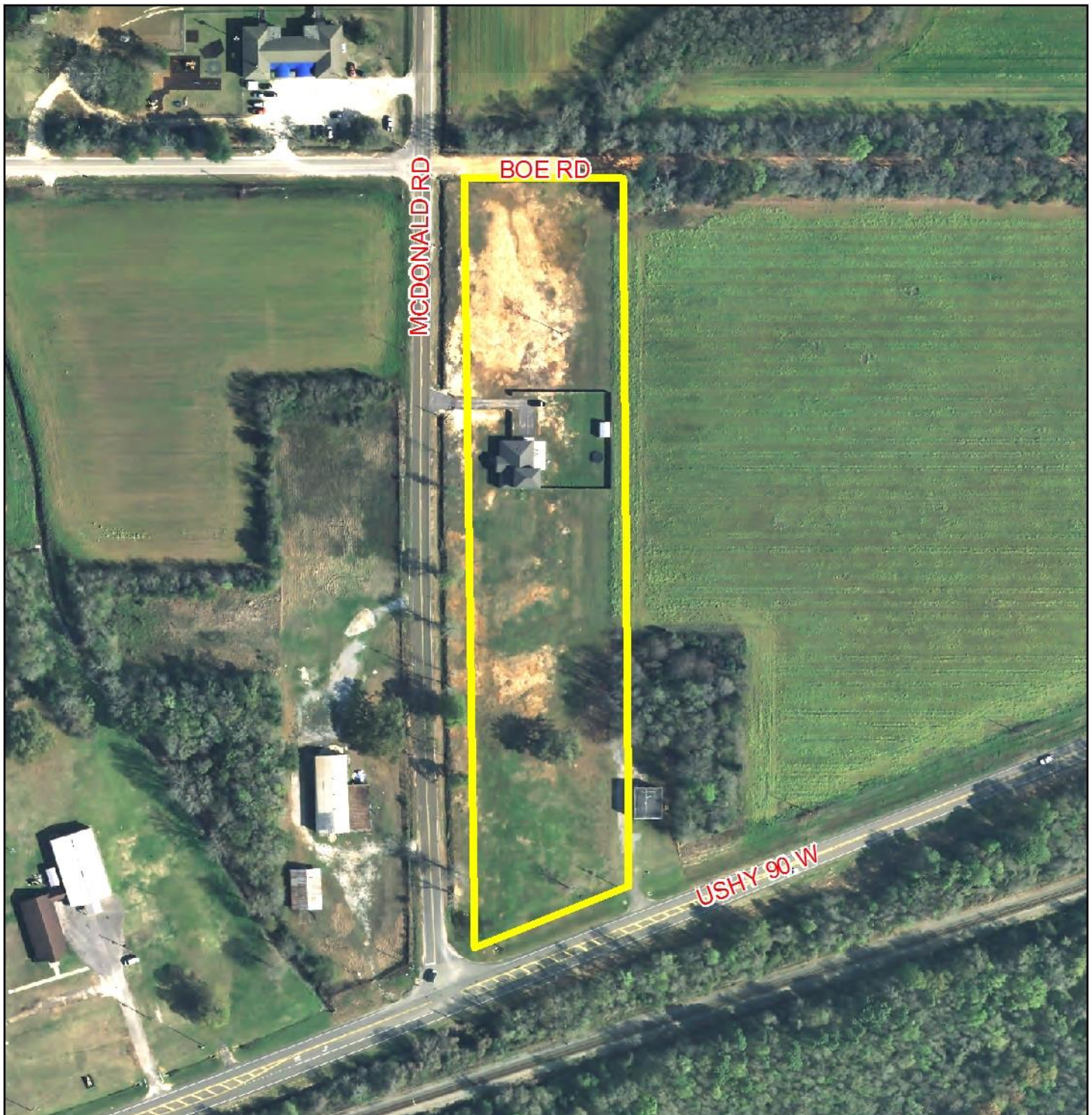


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



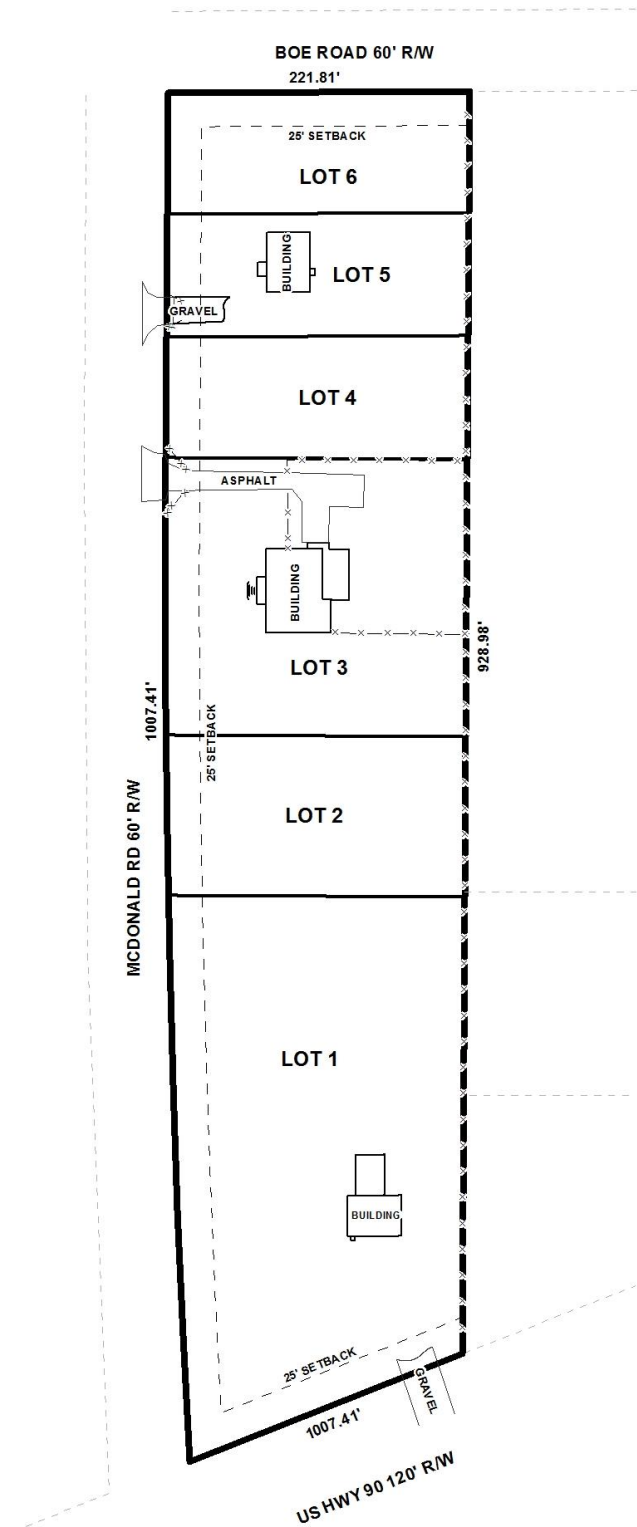
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DETAIL SITE PLAN



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REQUEST Subdivision



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